



TOWN OF LISBON
W234 N8676 Woodside Rd.
Lisbon, WI 53089

AMENDED: MONDAY, MAY 25, 2020 @ 10:30AM

Agenda
Town Board Meeting
Town of Lisbon, Town Hall
Tuesday, May 26, 2020
6:30 PM

- 1. Roll Call.**
- 2. Pledge of Allegiance.**
- 3. Comments from citizens present.** Citizens are invited to share their questions, comments, or concerns with the Town Board. When speaking, citizens should state their name and address for the record and limit their presentation to three minutes. Where possible, the Board will answer factual questions immediately. If a response would involve discussion of Board policy or decisions, which might be of interest to citizens, not present at the meeting, the Board may place the item on a future meeting agenda.
- 4. Consent Agenda.** Items listed under the Consent Agenda are considered in one motion unless a Town Board member requests that an item be removed from the Consent Agenda.
- 5. Approval of Bills.**
- 6. Announcements/Correspondence.**
 - Meeting Schedule
 - 2020-06-09 Village of Sussex Comprehensive Land Use Plan Amendment Public Hearing Notice
- 7. Department Reports - Presentation of activity statistics and recently attended meetings.**
- 8. Supervisor's Reports** - This is an opportunity for Supervisors to report on respective Committees, Commissions, and Boards of which they serve as a member. Matters require no action or approval.
- 9. Unfinished Business.**
- 10. New Business.**
 - A. Discussion and necessary action on the Conditional Use Permit request for a Contractors Yard in the M-2 Zoning District, for owner/applicant John Smaglik, for the property located at W220N7071 Townline Road, Lisbon, WI 53089, LSBT 0237.981.002.
 - B. Discussion and necessary action to purchase a new skid steer at a cost not to exceed \$40,000.
 - C. Discussion and necessary action to apply epoxy polymer overlay by Farhner Asphalt Sealers, on the Plainview Road Bridge over the Bark River.

- 11. Discussion and necessary action to enter into Closed Session pursuant to Wisconsin Statute 19.85(1)(c),** considering employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility, more specifically for the position of Interim Administrator/Town Clerk.

- 12. Discussion and necessary action to reconvene into Open Session for possible action on Closed Session deliberations.**

- 13. Adjournment.**

Joseph Osterman
Town Chairman

Gina C. Gresch, MMC/WCPC
Administrator

NOTE: Individual members of the Town Board will be available after the meeting to discuss town related issues with citizens who are present.
NOTE: Please notify the Town of Lisbon 72 hours in advance if you plan to attend and will need an interpreter or assistive hearing device.
NOTICE: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information: no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
1ST AYD CORPORATION						
2	1ST AYD CORPORATION	PSI360437	SHOP SUPPLIES - GLOVES, TOWELS,	05/01/2020	350.34	10-533-530-3100 SUPPLIES - HIGHWAY
Total 1ST AYD CORPORATION:					350.34	
AARONIN STEEL SALES INC						
3	AARONIN STEEL SALES INC	63416	STEEL FOR LOADER	05/05/2020	26.75	10-533-530-5410 EQUIP MAINTENANCE - HIGHWAY
Total AARONIN STEEL SALES INC:					26.75	
ADVANCED DISPOSAL SERVICES						
13	ADVANCED DISPOSAL SERVIC	APR 2020	GARBAGE & RECYC COLLECTION	04/30/2020	69,343.88	10-546-530-4810 CONTRACT SVCS - REFUSE COLLECT
Total ADVANCED DISPOSAL SERVICES:					69,343.88	
AIR ONE EQUIPMENT INC						
23	AIR ONE EQUIPMENT INC	156591	GLASS MASTER BLADE	05/15/2020	28.95	10-522-530-5410 EQUIPMENT MAINTENANCE - FD
Total AIR ONE EQUIPMENT INC:					28.95	
ARC DOCUMENT SOLUTIONS LLC						
2627	ARC DOCUMENT SOLUTIONS L	55WII9021024	TOWN PLAT MAPS	05/12/2020	36.00	10-516-530-3100 OFFICE SUPPLIES - TOWN HALL
2627	ARC DOCUMENT SOLUTIONS L	55WII9021025	MAPS OF LISBON UPDATED	05/12/2020	24.00	10-533-530-3100 SUPPLIES - HIGHWAY
Total ARC DOCUMENT SOLUTIONS LLC:					60.00	
BOUND TREE MEDICAL LLC						
130	BOUND TREE MEDICAL LLC	83537016	JUMP BAG	03/10/2020	283.99	10-523-530-3860 MEDICAL SUPPLIES - AMBO
130	BOUND TREE MEDICAL LLC	83617179	OXYGEN MASK	05/06/2020	48.50	10-523-530-3860 MEDICAL SUPPLIES - AMBO
Total BOUND TREE MEDICAL LLC:					332.49	
CANON FINANCIAL SERVICES INC						
157	CANON FINANCIAL SERVICES I	21462292	TOWN HALL COPIER CONTRACT	05/13/2020	457.96	10-518-530-4000 EQUIPMENT LEASES - GEN GOV'T
Total CANON FINANCIAL SERVICES INC:					457.96	
CASEY'S GENERAL STORES						
2679	CASEY'S GENERAL STORES	MAY 2020	REIMB OVERPAID CLASS A B/L	05/20/2020	35.00	10-440-441-1000 LIQUOR, BEER & CIGARETTE LIC

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
Total CASEY'S GENERAL STORES:					35.00	
COLLEEN WANDSNIDER						
2385	COLLEEN WANDSNIDER	PARK 2020	PARK CANCELLATION REFUND	05/18/2020	75.00	10-460-467-2001 PARK SHELTER RENTALS
Total COLLEEN WANDSNIDER:					75.00	
CRAMER MULTHAUF & HAMMES LLP						
212	CRAMER MULTHAUF & HAMME	16	TID #1 LEGAL WORK	04/30/2020	1,518.75	65-561-530-2100 TID #1 - ATTORNEY
212	CRAMER MULTHAUF & HAMME	INV 8	BATZLER LITIGATION	04/30/2020	1,143.75	10-518-530-4110 LEGAL FEES - GEN GOVT
Total CRAMER MULTHAUF & HAMMES LLP:					2,662.50	
ELECTION SYSTEMS & SOFTWARE						
268	ELECTION SYSTEMS & SOFTW	1133633	YEAR 4 OF 5 - ELECTION EQUIP PMT	05/06/2020	975.00	10-513-530-4400 CONTRACTED SERVICES - ELECTION
Total ELECTION SYSTEMS & SOFTWARE:					975.00	
EMERGENCY MEDICAL PRODUCTS INC						
279	EMERGENCY MEDICAL PRODU	2164688	PROBE COVERS, GLASSES	05/05/2020	196.78	10-523-530-3860 MEDICAL SUPPLIES - AMBO
Total EMERGENCY MEDICAL PRODUCTS INC:					196.78	
FALLS AUTO PARTS & SUPPLIES						
307	FALLS AUTO PARTS & SUPPLIE	598786	PENETRATION SPRAY	04/24/2020	11.28	10-522-530-5500 VEHICLE MAINTENANCE - FD
307	FALLS AUTO PARTS & SUPPLIE	599373	OIL FILTER & SPRAY	05/06/2020	130.62	10-522-530-5500 VEHICLE MAINTENANCE - FD
307	FALLS AUTO PARTS & SUPPLIE	599512	SOCKET & ADAPTER	05/05/2020	40.48	10-533-530-3150 SHOP TOOLS - HIGHWAY
307	FALLS AUTO PARTS & SUPPLIE	599805	EXHAUST PARTS & FILTER 2695	05/14/2020	123.24	10-522-530-5500 VEHICLE MAINTENANCE - FD
Total FALLS AUTO PARTS & SUPPLIES:					305.62	
GAYLE MANDT						
2721	GAYLE MANDT	REIMB	CRAFT BOOTH REFUND	05/19/2020	20.00	20-480-485-0007 FESTIVAL DONATIONS
Total GAYLE MANDT:					20.00	
GENERAL COMMUNICATIONS INC						
366	GENERAL COMMUNICATIONS I	282257	2 WAY RADIOS FOR LOADERS	05/06/2020	788.80	10-533-530-5430 RADIO MAINTENANCE - HIGHWAY

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
Total GENERAL COMMUNICATIONS INC:					788.80	
GINA GRESCH						
2520	GINA GRESCH	Q1/2	GINA GRESCH 2020 MILEAGE Q1/Q2	05/20/2020	167.38	10-512-530-7800 MILEAGE - ADMINISTRATOR
Total GINA GRESCH:					167.38	
HAMILTON SCHOOL DISTRICT						
413	HAMILTON SCHOOL DISTRICT	APR 2020	APRIL MOBILE HOME PARK FEES	04/30/2020	4,305.48	10-200-250-4620 MOBILE HOME DUE TO HAMILTON
Total HAMILTON SCHOOL DISTRICT:					4,305.48	
JANE STADLER						
863	JANE STADLER	MAY 2020	MAY PC MTG PAY 5-14-20	05/15/2020	25.00	10-563-510-1100 SALARIES - PC
Total JANE STADLER:					25.00	
JOURNAL SENTINEL INC.						
541	JOURNAL SENTINEL INC.	3307701	LEGAL NOTICES	04/30/2020	212.39	10-518-530-3600 LEGAL NOTICES PUBLICATIONS
Total JOURNAL SENTINEL INC.:					212.39	
KAESTNER AUTO ELECTRIC CO.						
500	KAESTNER AUTO ELECTRIC C	339483	LED BAR FOR EXCAVATOR	05/13/2020	329.00	10-533-530-5410 EQUIP MAINTENANCE - HIGHWAY
Total KAESTNER AUTO ELECTRIC CO.:					329.00	
KERSHEK LAW OFFICES						
509	KERSHEK LAW OFFICES	05/20 18704	Prosecutorial Services	05/13/2020	750.00	10-518-530-4120 LEGAL FEES - MUNICIPAL COURT
Total KERSHEK LAW OFFICES:					750.00	
KIMBERLY HUGHES						
2720	KIMBERLY HUGHES	PARK 2020	PARK CANCELLATION REFUND	05/18/2020	100.00	10-460-467-2001 PARK SHELTER RENTALS
Total KIMBERLY HUGHES:					100.00	
LANGE ENTERPRISES INC.						
552	LANGE ENTERPRISES INC.	72338	STREET SIGNS X4 W/ LOGO	05/04/2020	186.09	10-533-530-3540 SIGNS - HIGHWAY

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
Total LANGE ENTERPRISES INC.:					186.09	
LYNN JUDD						
2723	LYNN JUDD	REIMB	CRAFT BOOTH REFUND	05/19/2020	20.00	20-480-485-0007 FESTIVAL DONATIONS
Total LYNN JUDD:					20.00	
NEU'S BUILDING CENTER INC.						
672	NEU'S BUILDING CENTER INC.	4098861	HARDWARE FOR SIGNS	03/14/2020	37.70	10-533-530-3540 SIGNS - HIGHWAY
672	NEU'S BUILDING CENTER INC.	4098861	CAULK	03/14/2020	9.19	10-533-530-3150 SHOP TOOLS - HIGHWAY
Total NEU'S BUILDING CENTER INC.:					46.89	
OSI ENVIRONMENTAL INC.						
699	OSI ENVIRONMENTAL INC.	1049806	OIL DRAIN TANK PUMPED	04/28/2020	75.00	10-546-530-7870 RECYCLING - OIL/ANTFZ/FILTERS
699	OSI ENVIRONMENTAL INC.	1049841	USED OIL FILTERS COLLECTED	04/30/2020	45.00	10-546-530-7870 RECYCLING - OIL/ANTFZ/FILTERS
699	OSI ENVIRONMENTAL INC.	1049952	DRAIN OIL FEE	04/30/2020	75.00	10-546-530-7870 RECYCLING - OIL/ANTFZ/FILTERS
Total OSI ENVIRONMENTAL INC.:					195.00	
PAM CLASEN						
2719	PAM CLASEN	PARK 2020	PARK CANCELLATION REFUND	05/18/2020	75.00	10-460-467-2001 PARK SHELTER RENTALS
Total PAM CLASEN:					75.00	
PAMELA STEDMAN						
870	PAMELA STEDMAN	MAY 2020	REIMB - WIPES	05/20/2020	20.94	10-522-530-3100 SUPPLIES - FD
870	PAMELA STEDMAN	MAY 2020	REIMB - VAC FILTER	05/20/2020	19.33	10-522-530-3100 SUPPLIES - FD
Total PAMELA STEDMAN:					40.27	
PARTSMASTER						
704	PARTSMASTER	23540160	HARDWARE & ABRASIVES	04/30/2020	287.94	10-533-530-3100 SUPPLIES - HIGHWAY
Total PARTSMASTER:					287.94	
QUARLES & BRADY LLP						
761	QUARLES & BRADY LLP	6225933	CLIENT MATTER 600061.00017	02/28/2020	4,000.00	70-580-583-1000 DEBT ISSUANCE COSTS

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
Total QUARLES & BRADY LLP:					4,000.00	
RUSSELL NORDMAN						
2724	RUSSELL NORDMAN	REISSUE	PROPERTY TAX REFUND REISSUE	05/20/2020	4,861.11	10-200-260-2030 OVERPAID REAL ESTATE TAX
Total RUSSELL NORDMAN:					4,861.11	
SHIELD SOLUTIONS						
2597	SHIELD SOLUTIONS	14878	TRUCK WASH	05/15/2020	334.00	10-522-530-5500 VEHICLE MAINTENACE - FD
Total SHIELD SOLUTIONS:					334.00	
SUSAN GALKOWSKI						
2722	SUSAN GALKOWSKI	REIMB	CRAFT BOOTH REFUND	05/19/2020	20.00	20-480-485-0007 FESTIVAL DONATIONS
Total SUSAN GALKOWSKI:					20.00	
SUSSEX ACE HARDWARE						
7	SUSSEX ACE HARDWARE	191824	SILICONE LUBE	05/01/2020	20.22	10-522-530-5500 VEHICLE MAINTENACE - FD
7	SUSSEX ACE HARDWARE	191902	SMOKE DETECTORS	05/06/2020	67.46	10-522-530-5200 BLDG MAINTENANCE - FD
7	SUSSEX ACE HARDWARE	192064	TORCH HEAD & GAS	05/14/2020	72.86	10-522-530-5410 EQUIPMENT MAINTENANCE - FD
7	SUSSEX ACE HARDWARE	192086	TAPE CABLE TIE	05/16/2020	27.84	10-522-530-5500 VEHICLE MAINTENACE - FD
Total SUSSEX ACE HARDWARE:					188.38	
TERENCE DOYLE						
1428	TERENCE DOYLE	2018 PROP TA	LSBT0208988001	02/14/2018	104.00	10-200-260-2030 OVERPAID REAL ESTATE TAX
Total TERENCE DOYLE:					104.00	
UNIFIRST CORPORATION						
2349	UNIFIRST CORPORATION	096 1128326	DPW UNIFORMS & MATS	05/11/2020	91.82	10-533-530-3630 UNIFORMS/MATS - HIGHWAY
Total UNIFIRST CORPORATION:					91.82	
VILLAGE OF SUSSEX						
2376	VILLAGE OF SUSSEX	5223	SALT BRINE FOR PRETREAT ROADS	05/12/2020	57.75	10-542-530-3530 SALT - HIGHWAY

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
Total VILLAGE OF SUSSEX:					57.75	
WAUKESHA COUNTY TREASURER						
2390	WAUKESHA COUNTY TREASUR	202000000054	JUNE 2020 POLICE SERVICES	05/14/2020	60,921.80	10-521-530-4400 CONTRACTED SERVICES - WCSO
Total WAUKESHA COUNTY TREASURER:					60,921.80	
WCTC						
2411	WCTC	S0713456	TUITIONS & FEES - GUEYE	04/30/2020	880.18	10-522-530-7700 EDUCATION - FD
2411	WCTC	S0713456	TUITIONS & FEES - HEICHELBECH	04/30/2020	54.73	10-522-530-7700 EDUCATION - FD
2411	WCTC	S0713456	TUITIONS & FEES - MASON	04/30/2020	335.55	10-522-530-7700 EDUCATION - FD
2411	WCTC	S0713456	TUITIONS & FEES - SLECK	04/30/2020	317.40	10-522-530-7700 EDUCATION - FD
Total WCTC:					1,587.86	
WILDE'S LAKE COUNTRY GARAGE						
2429	WILDE'S LAKE COUNTRY GARA	1152	GARAGE DOOR #4 - DPW	03/28/2020	7,850.00	70-533-570-8000 BUILDING IMPROVMENTS - HIGHWAY
2429	WILDE'S LAKE COUNTRY GARA	1153	REPLACE 3 GARAGE DOORS GH	03/28/2020	18,850.00	70-522-570-8000 BUILDING IMPROVMENTS - FIRE
Total WILDE'S LAKE COUNTRY GARAGE:					26,700.00	
WOLESKE CONSTRUCTION CO., INC.						
2718	WOLESKE CONSTRUCTION CO	#1	UTILITY EXTENSIONS PAYMT#1	05/12/2020	245,311.24	65-561-530-3100 TID #1 - ENGINEERING
Total WOLESKE CONSTRUCTION CO., INC.:					245,311.24	
Grand Totals:					426,577.47	

Vendor	Vendor Name	Invoice Number	Description	Invoice Date	Net Invoice Amount	GL Account and Title
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Dated: _____

Chairman: _____

Board Member #1: _____

Board Member #2: _____

Board Member #3: _____

Board Member #4: _____

TOP 5 EXPENDITURES

- \$ 245,311.24 WOLESKE CONSTRUCTION: Utility Extensions Payment #1 (KUNKEL)
- \$ 69,343.88 ADVANCED DISPOSAL: APRIL Garbage/Recycling Collection
- \$ 60,921.80 WAUKESHA COUNTY TREASURER: JUNE Police Services
- \$ 26,700.00 WILDE'S LAKE COUNTRY GARAGE: Door Replacemts Good Hope FD (3) & DPW (1)
- \$ 4,305.48 HAMILTON SCHOOL DISTRICT: APRIL Mobile Home Parking Fees

Report Criteria:

- Detail report.
- Invoices with totals above \$0.00 included.
- Only unpaid invoices included.



TOWN OF LISBON
W234 N8676 Woodside Rd.
Lisbon, WI 53089

Dear Board Members:

This is to notify you of the Town of Lisbon meetings, office closures and elections from **May 27, 2020 through June 22, 2020** at the Town Hall, W234N8676 Woodside Road, unless indicated otherwise.

8	JUN, MON	●	6:30 – 8:30pm	Supervisor's Office Hours - 6PM followed by Town Board - 6:30PM Town Hall
10	JUN, WED	●	6 – 8pm	Board of Review - 6PM-8PM Town Hall
11	JUN, THU	●	6:30 – 9pm	Joint TB & PC Public Hearing, Followed by Regular Plan Commission - 6:30PM Town Hall
15	JUN, MON	●	6:30 – 8pm	Park Committee - 6:30PM Richard Jung Memorial Fire Station
17	JUN, WED	●	6:30 – 8:30pm	Sanitary District - 6:30 PM Town Hall
22	JUN, MON	●	6:30 – 8:30pm	Supervisor's Office Hours - 6PM followed by Town Board - 6:30PM Town Hall

Sincerely,

Gina C. Gresch, MMC/WCPC
Town of Lisbon Administrator

NOTICE: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meetings to gather information: no action will be taken by any governmental body at the above-stated meetings other than the governmental body specifically referred to above in this notice. (All meetings are subject to change or cancellation)



N64W23760 Main Street
Sussex, Wisconsin 53089
Phone (262) 246-5200
FAX (262) 246-5222
Email: info@villagesussex.org
Website: www.villagesussex.org

April 29, 2020



The Village of Sussex Plan Commission on February 18, 2020 recommended to the Village Board by a Resolution to amend the Land Use Map which is a component of the Comprehensive Plan. In particular the properties considered for reclassification are located west of HWY 164 and south of Silver Spring. A copy of the Resolution and a map are enclosed for your review.

The Village Board will consider an Ordinance to amend the Land Use Map at the public hearing scheduled for June 9, 2020.

This meeting will be held virtually due to the governor's emergency safer at home order due to covid-19 virus. This meeting can be accessed in one of the following ways:

1. By calling 1 312-626-6799 and entering meeting id: 975 3641 7584 the meeting materials will be available at www.villagesussex.org and during the meeting by watching channel 25 the village's cable channel on spectrum cable.
2. Clicking the following link: <https://zoom.us/j/97536417584>. Please note that should the Government Order be adjusted to support in person meetings the Village may choose to hold the meeting in person at the Civic center at the same time as listed in this notice. Notice of this change to an in person meeting if made will be posted on the Village website at least 48 hours prior to the meeting.

Should you have any questions, please contact Kasey Fluet the Assistant Development Director at 262-246-5200.

Sincerely,

Kasey Fluet

Kasey Fluet
Assistant Development Director

Cc: Copies sent to all adjoining municipalities
Waukesha County Parks and Land Use
SEWRPC
Wisconsin Dept. of Admin. Comprehensive Planning Program
Pauline Haass Public Library

Enclosures

RESOLUTION NO. 20-10

AMENDMENT #2 OF THE
2040 COMPREHENSIVE PLAN
FOR THE VILLAGE OF SUSSEX, WISCONSIN
AND SPECIFICALLY THE LAND USE MAP A
COMPONENT OF THE COMPREHENSIVE PLAN

WHEREAS: the Village Board is authorized by state law to adopt and amend a comprehensive plan as defined in Sections 66.1001(1)(a) and 66.1002(2) of the Wisconsin Statutes; and

WHEREAS: The Village Board adopted a comprehensive plan on March 25, 2003 and updated to the 2040 Comprehensive Plan on May 22, 2018 and on occasion amendments will be made; and

WHEREAS: The Sussex Plan Commission has received a petition to amend the Land Use Map and finds it to be acceptable; and

WHEREAS: The Village desires to amend the adopted 2040 Comprehensive plan, specifically the Land Use Plan Map component of the same, based on a request by the petitioner, Neumann Developments, Inc. on behalf of property owners Hickory Farms Inc. portion of SUXV0227999, SUXV0227999004, SUXV0228996 and SUXV0228996002 Silver Spring Road; and

WHEREAS: The approximately 176 acres of the subject properties are currently classified on the Land Use Map as the following:

- Low Density Single Family Residential
- Medium Density Single Family Residential
- Recreational

WHEREAS: The approximately 176 acres of the subject properties as shown on the exhibit, upon adoption of an ordinance amendment would be classified as:

- Medium Density Single Family Residential
- Single Family Attached and Two Family Residential
- Recreational
- Agricultural
- Environmental Corridor
- Isolated Natural Resource Area

NOW THEREFORE, BE IT RESOLVED by the Plan Commission of the Village of Sussex, adopts this resolution and recommends that the Village Board of the Village of Sussex adopt an ordinance entitled Amendment #2 to the Village of Sussex 2040 Comprehensive Plan of the Land Use Map a component of the comprehensive plan for the Village of Sussex to accomplish the following:

Amend the classification for portion of SUXV0227999, SUXV027999004, SUXV0228996 and SUXV0228996002 Silver Spring Road approximately 176 acres on the Land Use Map as shown on the exhibit to the following:

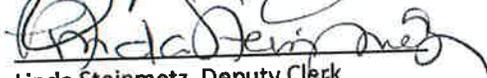
- Medium Density Single Family Residential
- Single Family Attached and Two Family Residential
- Recreational
- Agricultural
- Environmental Corridor
- Isolated Natural Resource Area

Exhibit A legal description attached hereto and incorporated herein.

ADOPTED THIS 18th DAY OF February 2020

Approved by a vote of 1 ayes ___ nays.

By: 
Gregory L. Goetz, Chairman

Attest: 
Linda Steinmetz, Deputy Clerk

August 2, 2019

Project No. NEUMA-149103

Proposed Legal Description

Being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 and the Southwest 1/4, and Northwest 1/4 of the Southeast 1/4 of Section 21, and the Northeast 1/4 of the Northwest 1/4 of Section 28, Township 8 North, Range 19 East, Village of Sussex, Waukesha County, Wisconsin more fully described as follows:

Beginning at the North 1/4 corner of said Section 28; thence South $00^{\circ}31'46''$ East along the East line of the Northwest 1/4 of said Section 28, a distance of 185.69 feet to the centerline of an unnamed creek; thence the following eight courses along the centerline of the unnamed creek, North $68^{\circ}52'57''$ West, 32.73 feet; thence North $47^{\circ}32'38''$ West, 70.10 feet; thence North $52^{\circ}27'32''$ West, 756.12 feet; thence North $58^{\circ}21'34''$ West, 1116.35 feet; thence North $59^{\circ}05'54''$ West, 430.52 feet; thence North $71^{\circ}52'37''$ West, 21.78 feet; thence North $80^{\circ}27'05''$ West, 536.46 feet; thence North $89^{\circ}46'14''$ West, 83.14 feet to the West line of the Southwest 1/4 of Section 28; thence North $00^{\circ}24'29''$ East along said West line 1088.38 feet; thence North $88^{\circ}25'29''$ East, 578.46 feet to the East line of Lot 1 of Certified Survey Map No. 5531; thence North $01^{\circ}34'31''$ West along said East line 225.70 feet to the to the Southerly right-of-way of C.T.H. "VV", being 65.05 feet South of the Wisconsin Department of Transportation Reference Line; thence North $89^{\circ}49'15''$ East along said Southerly right-of-way line 620.36 feet; thence South $04^{\circ}56'41''$ West, 210.80 feet; thence South $00^{\circ}09'31''$ East, 143.43 feet; thence North $89^{\circ}50'29''$ East, 501.35 feet; thence North $00^{\circ}09'31''$ West, 125.00 feet; thence North $89^{\circ}50'29''$ East, 54.17 feet; thence North $00^{\circ}09'31''$ West, 228.59 feet to the to the southerly right-of-way of C.T.H. "VV", being 65.05 feet South of the Wisconsin Department of Transportation Reference Line; thence North $89^{\circ}49'15''$ East along said Southerly right-of-way line 797.02 feet; thence South $00^{\circ}22'15''$ West, 158.20 feet; thence North $89^{\circ}38'41''$ East, 115.50 feet; thence South $00^{\circ}22'15''$ West, 52.42 feet; thence South $65^{\circ}27'29''$ East, 270.22 feet; thence North $00^{\circ}50'35''$ West, 315.47 feet to the Southerly right-of-way line of CTH VV; thence Southeasterly 350.81 feet along said right-of-way line and the arc of a curve to the right, with a radius of 894.93 feet whose chord bears South $69^{\circ}14'33''$ East, 348.57 feet; thence South $58^{\circ}00'45''$ East continuing along said Southerly right-of-way line 907.81 feet to a point on the East line of the West 1/2 of the Southeast 1/4 of said Section 21; thence South $00^{\circ}10'25''$ West along said East line 1,956.02 feet to the South line of said Southeast 1/4; thence South $89^{\circ}45'15''$ West along said South line 1,346.49 feet to the point of beginning.

Said lands contain 7,775,690 square feet (178.50 acres).

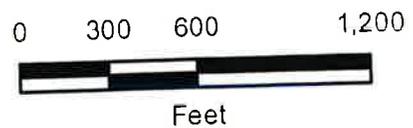


Vista Run Proposed Landuse

Date: 1-30-20

Legend

-  Agriculture
-  Low Density Single-Family Residential
-  Single-Family Attached and Two-Family Residential
-  Medium Density Single-Family Residential
-  Recreational
-  Secondary Environmental Corridor
-  Streets and Highways
-  Civil Division



 Ruekert · Mielke



REQUEST FOR CONSIDERATION

COMMITTEE CONSIDERATION: Town Board

ITEM DESCRIPTION: Recommendation from Plan Commission

PREPARED BY: Gina C. Gresch, Administrator

REPORT DATE: Tuesday, May 19, 2020

RECOMMENDATION: Approve Plan Commission Recommendation

EXPLANATION

John Smaglik Conditional Use for a Contractors Yard.

John Smaglik is proposing to replace an existing building and operate a contractor's yard for a landscaping business. The site will be used to house landscaping equipment, vehicles, and trailers. There will be no manufacturing or retail/wholesale on site. The applicant will only be required to obtain a minor grading permit, in addition to any other related information requirements. The property is located at the County Highway V, south of the intersection with Good Hope Road. The property is approximately .9923 acres in size and is zoned M-2 General Industrial. The applicant anticipates two full-time employees including himself and no more than two part-time employees at the site, with operations running 6am to 6pm Monday through Friday, and 7am to 1pm on Saturday.

I recommend approval.



600 W. Virginia Street, Suite 601
Milwaukee, WI 53204
(262) 875-5000 phone
(608) 826-0530 FAX
www.vierbicher.com

May 7, 2020

Chairperson Osterman and Town Plan Commission Members
Town of Lisbon
W23N8676 Woodside Road
Lisbon, WI 53089

Re: John Smaglik and Associated Landscape Services Landscape Contractor's Yard - Conditional Use Permit (CUP) and Site Plan/Plan of Operations (SPPOO) Review

Dear Plan Commission Members:

The above-referenced Conditional Use Permit (CUP) application and associated Site Plan/Plan of Operations (SPPOO) was received in our office for review on behalf of the Town of Lisbon. We have reviewed the following application materials:

- Conditional Use Permit (CUP) Application
- Memo addressing Conditional Use requirements
- Town Site Plan and Plan of Operation Application
- Site Plan, building elevations, and floor plan
- Grading, erosion control, and landscape plans

Summary

John Smaglik is proposing to replace an existing building and operate a contractor's yard for a landscaping business. The site will be used to house landscaping equipment, vehicles, and trailers. There will be no manufacturing or retail/wholesale on site. The applicant will only be required to obtain a minor grading permit, in addition to any other related information requirements. The property is located at the County Highway V, south of the intersection with Good Hope Road. The property is approximately .9923 acres in size and is zoned M-2 General Industrial. The site plan includes:

- A proposed site to house landscaping equipment, vehicles, trailers, and a garage/indoor storage building and bathroom,
- Erosion control plan and notes,
- Grading plan,
- Landscape plan,
- Lighting plan.

The applicant anticipates one full-time employee and one part-time employee at the site, with operations running 6am to 6pm Monday through Friday, and 7am to 1pm on Saturday.

In addition, the applicant has received the following approvals regarding the proposed use on the subject property;

- Plan of Operation for Associated Landscape Services. Plan Commission approval with conditions on March 6, 2008. Minutes are attached.
- Variance from setback standards. Board of Appeals approved on December 9, 2019. Minutes are attached.

Application Review

The parcel is subject to compliance with the Town Code Chapters 11, 12, and other applicable Chapters.

Background Information

Property owner: John Smaglik

Location: County Highway V, south of the intersection with Good Hope Road.

Tax Keys: LSBT 0237981002

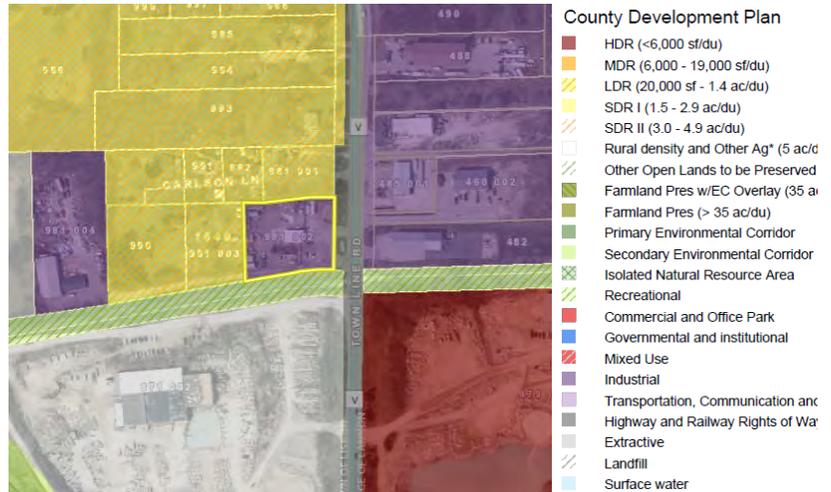
Adjacent land uses and zoning:

North: Residential (zoned R-2 Single-Residential)

South: Greenway/Trail/Halquist Stone Co. M-2 General Industrial)

Motorsports/General Industrial (Village of zoning)

Vacant/Rural (zoned R-2 Single-Family Residential)



Existing land use: Equipment, Vehicle, Trailer Storage

Future Land Use: "Industrial" (see inset map image)

The use, removal, and/or distribution of the waste soil on the site shall be worked out between the Town and the applicant separate from this application.

Conditional Use Permit (CUP) Review

Chapter 11 of the Town Ordinances (Zoning Code) lays out the requirements for application and approval of Conditional Use Permits in the Town. Certain uses of a special nature require the approval of a Conditional Use Permit by the Town. The basis for approval of the CUP is based on the following five standards. Per Sec. 4(d) of the Zoning Code, the Plan Commission may deny the conditional use request if it concludes, based upon the information submitted, that the proposed use and/or development would likely:

1. Materially endanger the public health, general welfare, and safety

The proposed landscape contractor's yard does not appear to endanger the public health, general welfare, and safety. The proposed use and site plan will allow for orderly operation of a landscape contractors yard, with an improved driveway, associate parking, and gate access.

2. Be hazardous, harmful, noxious, offensive, or a nuisance by reason of noise, dust, smoke, odor, or other similar factor.

The proposed use does not appear to be hazardous, harmful, noxious, offensive, or a nuisance by reason of noise, dust, smoke, odor, or other factor. No manufacturing will be done on site.

3. For any other reason cause a substantially adverse effect on property values.

The proposed use is not expected to have a substantially adverse effect on property values. The parcel to the north is residential; however, the properties to the south and east are commercial/industrial and the lot to the west is vacant/rural use. The subject property has been historically used for storage of vehicles and equipment. The surrounding neighborhood was originally zoned manufacturing. Slatted chain-link fencing and landscaping has been installed on the property to shield the property from view from neighboring properties. Gated entrances/exits are proposed.

4. Be inharmonious with the area in which it is to be located.

The proposed use is not expected to be inharmonious with the area in which it is to be located. Commercial/industrial uses are located to the south and east.

5. Will not be in general conformity with the land use plan, comprehensive plan, transportation plan, environmental plan, park, and recreational plan, or other officially adopted plan.

The proposed use is in general conformity with land use plan and other associated plans. The proposed land use for the subject property and property to the east is designated "Industrial". The property is located along an arterial road, Townline Road, or County Highway V.

Landscape Contractor's Yard and Associated Site Plan Review Standards

The Grading, Erosion Control, and associated Site Plan and Plan of Operation package that we received for review addresses most of the items required by ordinance. However, some items are not included or addressed at the date of this report. Please see the comments below, Consistency with Zoning, on the additional information needed.

Consistency with Zoning

The SPPOO amendment proposes a landscape contractor's yard and associated building on the property. The M-2 General Manufacturing zoning district allows for a contractor's yard as a conditional use. The site plan complies with most site requirements of the M-2 General Industrial zoning district and Conditional Use provisions for a contractor's yard. Where requirements are not met, comments are provided below to address those requirements and provisions are made for allowances.

Conditional Use Requirements

The applicant has addressed the requirements for a contractor's yard conditional use as provided below;

11. Contractor's Yard: In A-10, A-5, B-3, Q-1, or Industrial Districts, and in all cases, the following requirements shall be met in order to grant a conditional use:

A. The minimum lot area shall be at least five (5) acres.

- The existing lot is zoned M-2, General Industrial, but is 0.9929 acres which makes it an existing substandard lot. However, with the Bugline Trail to the South, CTH V to the east and residential zoning to the north and west, expansion is not possible. The new building, existing landscaping and fencing, new fencing, and new parking and circular internal drive make efficient use of the site and offer buffering and separation of operations from neighboring properties.
- Permission to operation the landscape contractor's yard and existing building was granted by the Plan Commission in 2008.
- **The Plan Commission would need to allow for a replacement building on the existing lot. This would be consistent with the 2008 Site Plan Approval.**

B. All buildings used in the conduct of the business shall be located at least one hundred (100) feet from the lot line of an adjoining lot permitting a residential use or at least fifty (50) feet from a lot line of an adjoining lot in any other district.

- The adjacent lots to the north are residential. With the required 100' north setback from the residential district there is no place for the building, yard or otherwise to be built.
- The existing building is currently 14' into the north setback. The proposed building would be sited no closer than what is existing.
- A special exception from Section 32(f)(2) in M-2 Zoning, which requires a minimum of 200 feet from a residential or agricultural zoning district where a lot abuts on a zoning district boundary line and where buildings or uses are not permitted in the more restrict zoning district, was granted in 2019.

- **The Plan Commission would need to allow for the location of the replacement building to be as shown on the site plan. Such an allowance would be consistent with the 2019 variance.**
- C. *No such use shall be allowed on any parcel, unless the parcel fronts directly upon and has access to an arterial or major collector street, as defined in this Ordinance, or within an established industrial park, where the roads can accommodate the heavy equipment.*
- The property directly fronts and has access to Townline Road (CTH V) which is an arterial road according to the Established Street and Highway Width Map of Waukesha County.
- D. *A planting screen at least ten (10) feet high in initial height shall be provided between any abutting property line and the proposed use. The plan commission may increase or decrease the planting screen requirements as may be deemed appropriate.*
- There is an existing screen on the east and north property lines. The rest of the area behind the existing building is screened with slatted chain link fence.
 - Existing trees border the property further providing screening. Screening cannot be provided to the south due to an existing 30' access easement for the lots to the west.
 - Current screening was installed in a manner specified by the 2008 Site Plan Approval.
 - **The Plan Commission would need to allow for the screening to be as shown on the site plan. The allowance would be consistent with the 2008 Site Plan Approval.**
- E. *In determining whether or not the proposed conditional use should be approved, the plan commission shall make a determination that the proposed conditional use is compatible with adjacent land uses. If it is determined that the proposed conditional use would in any way be incompatible with the adjacent land uses or represent an adverse effect or nuisance to adjacent land uses, the proposed conditional use shall not be approved.*
- The lot to the south is zoned General Industrial and has a contractor's yard. The property to the east is industrial and commercial, as regulated by the Village of Lannon. The property to the north is a large lot rural residential property adequately screened. The property to the west is a large vacant/rural lot adequately screened.
 - The property would be compatible with these land uses.
- F. The Site Plan and Plan of Operation submitted for review and approval must include the type and quantity of equipment and vehicles owned or leased by the property owner, the storage of materials, and hours of operation. This list shall be provided by the owner in the Plan of Operations.
- See the information provided in the Site Plan and Plan of Operations

General Zoning Code Requirements

- Setbacks and offsets are provided in the M-2 zoning district regulations.
 - There is a 50' setback for buildings, as measured from the "base setback line", which is half the proposed highway width, 50', added to the centerline of the highway. The replacement building meets this standard.
 - The setback for parking is 10' from the "base setback line". The proposed parking does not meet this standard due to the constrained size of the site, the location of the existing building and approved operation, and the required parking and driveway improvements and associate parking lot landscaping. **The Plan Commission would need to allow for the parking area configuration as shown on the site plan.**
 - The building offsets are measured from existing property lines and are required to be 200' from a residential district. The proposed replacement building does not meet this standard. However, the 2019 Variance allows for the proposed location of the replacement building and deviation from this standard.

- Addendum A from Chapter 12 requires perimeter landscaping buffers measured from the property lines.
 - A LUI Diff. 8 buffer north and west and a LUI Diff. 1 buffer south and east is required. Due to the constrained lot size and existing building and approved operations the perimeter buffer would not able to be met without significant removal of vehicles, equipment, other operations, and existing fencing. **The Plan Commission would need to allow for the landscaping and fencing as shown on the site plan.**
 - A 30' "green space" area is required from the property line along the arterial as well. Also, side and rear parking is required. The proposed site plan does not meet this standard due to the constrained size of the site, the location of the existing building and approved operation, and the required parking and driveway improvements and associate parking lot landscaping. **The Plan Commission would need to allow for the parking area configuration as shown on the site plan.**
- The Town Zoning ordinance requires 12 parking stalls based on 911 square feet of building floor area. The applicant has shown an alternate parking plan for the establishment which is proposed as being adequate. **The Plan Commission would need to allow for the parking area configuration as shown on the site plan.**

Staff Note: this ordinance standard is archaic and does on separate high-traffic and long-stay retail, such as restaurants, from short-stay users. The Town may want to consider amending this ordinance provision in the future.

- The site plan does not clearly delineate the minimum one (1) loading space that is required by ordinance based on floor area. The applicant will need to delineate the loading space.
- At least 15% of the site shall be set aside as open space. The site plan does not meet the standard with 92% impervious surface coverage. There is inadequate area on the site to meet the 15% standard and maintain the parking and circulation shown on the site plan. There is considerable open space to the south along the trail. **The Plan Commission would need to allow for the lesser amount of open space, as shown on the site plan.**

Recommendation

If the Plan Commission would require additional materials they have the ability to table the CUP application. If the Plan Commission is generally comfortable with the CUP request, they may conditionally approve it. Recommended conditions may include:

1. The Town of Lisbon retains the right to review the grading for compliance and maintenance of associated stormwater with approved plans.
2. The Fire Chief shall inspect the premises to ensure the site is in compliance with the respective fire codes. Non-objection from the Fire Department and correction of any deficiencies prior to issuance of occupancy permits.
3. The Building Inspector shall inspect the premises to ensure the site is in compliance with the respective building codes. Non-objection from the Building Inspector and correction of any deficiencies prior to issuance of occupancy permits.
4. The Town Engineer review the site plans to ensure the site is in compliance with the respective Town codes. Non-objection from the Town Engineer and correction of any deficiencies prior to issuance of SPPOO approval.
5. Outdoor storage of materials will be screened by a combination of existing landscaping and slatted chain-link fence.
6. There shall be no additional trash or commercial/office recycling stored outside of the building, exclusive of raw materials, beyond the designated dumpster.

7. Provide plans for ongoing maintenance of landscaping, including mowing and weed management.
8. Soil tests shall be done, and provided to the Town, to confirm the soils are buildable.
9. The hours and days of operation shall be 6am to 6pm Monday through Friday, and 7am to 1pm on Saturday, as proposed.
10. The applicant will need to delineate the loading space.
11. All erosion control devices be installed and maintained throughout the duration of the construction project. It is imperative that erosion control be established prior to the onset any excavating or grading activities.
12. The Waukesha County Environmental Health Division may review and approve of the uses on the subject property, prior to the issuance of any permits.
13. Waukesha County review and approval of stormwater plans.
14. Waukesha County approval of any final Stormwater Management Practice and Maintenance Agreement.
15. Once the Storm Water Management Practice and Maintenance Agreement and any addendums of the same have been executed, a record copy shall be sent to the Town of Lisbon and the Town's Engineer for their records.
16. Provide details regarding the existing building foundation and/or pad. Indicate if any is to be removed. Provide details regarding the proposed building foundation and/or pad. Indicated limits and detail drawings for construction.
17. Provide details regarding any proposed floor drains. Indicate location and detail drawings for construction. Indicate where the floor drains ultimately discharge.
18. Indicate location of sanitary and water building connections. All connections shall conform to State, County and/or local permit requirements.
19. Include erosion control measures along the east side of the property to ensure any potential runoff is contained onsite. Specifically, north of the driveway entrance.
20. Include erosion control measures along the south side of the property to ensure any potential runoff is contained onsite. Specifically, the southeast corner of the site.
21. Indicate the location for a construction entrance. Provide detail drawing.
22. Once the erosion control measures are in place and prior to commencing construction the applicant shall contact the Town Engineer, for an initial inspection.
23. The applicant should obtain all necessary State and County permits and provide a copy of permit approvals to the Town for their records.
24. An up-to-date Site Plan and Plan of Operation must be on file at all times with the Town of Lisbon.

May 7, 2020
Page 7 of 7

25. The approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Conditional Use Permit and/or Site Plan/Plan of Operation permit, as applicable, with all the zoning procedures at the time of being followed. Any use not specifically listed as permitted for this M-2 General Manufacturing zoning district, shall be considered to be prohibited, except as otherwise specified herein.
26. The Town reserves the right to review any condition imposed as part of this Conditional Use Permit and Site Plan and Plan of Operation if said use becomes a problem in the area. The Town Plan Commission may modify, change, delete, add, etc. any conditions, through the Site Plan and Plan of Operation process, which they feel may be reasonable in order to allow this use and ensure it does not become detrimental to the surrounding area. Any major change, as determined by the Town Plan Commission may require modification to the CUP and/or SPPOO Permits or termination of the use.

The issues outlined above are meant to act as a guideline to assist you in discussions as to what issues you feel need to be addressed in order for you to review this proposal. We will be in attendance at the May Plan Commission meeting to answer any questions.

Sincerely,

Joshua Langen, AICP
Community Development Planner

Rachel Holloway, AICP
Town Planner

cc: Gina Gresch, Town Administrator, Town of Lisbon

M:\Lisbon, Town of\200200 - 2020 Town Planning Services\2020 Tasks\2020.04 Smaglik Landscape Business SPPOO & CUP\Reviews\2020-04-14 - Smaglik Landscape Yard Staff Review\2020_04_14_Smaglik Landscape Yard Staff Review_043020.docx



Exhibit A Parcel 0237.981.002 Site Map
 Town of Lisbon - May 6, 2020

vierbicher
 planners | engineers | advisors



REEDSBURG - MADISON - PRAIRIE DU CHIEN - MILWAUKEE METRO
 N27 W23957 Paul Road, Suite 105, Pewaukee, WI 53072
 Phone: (262) 875-5000 Fax: (408) 826-0530

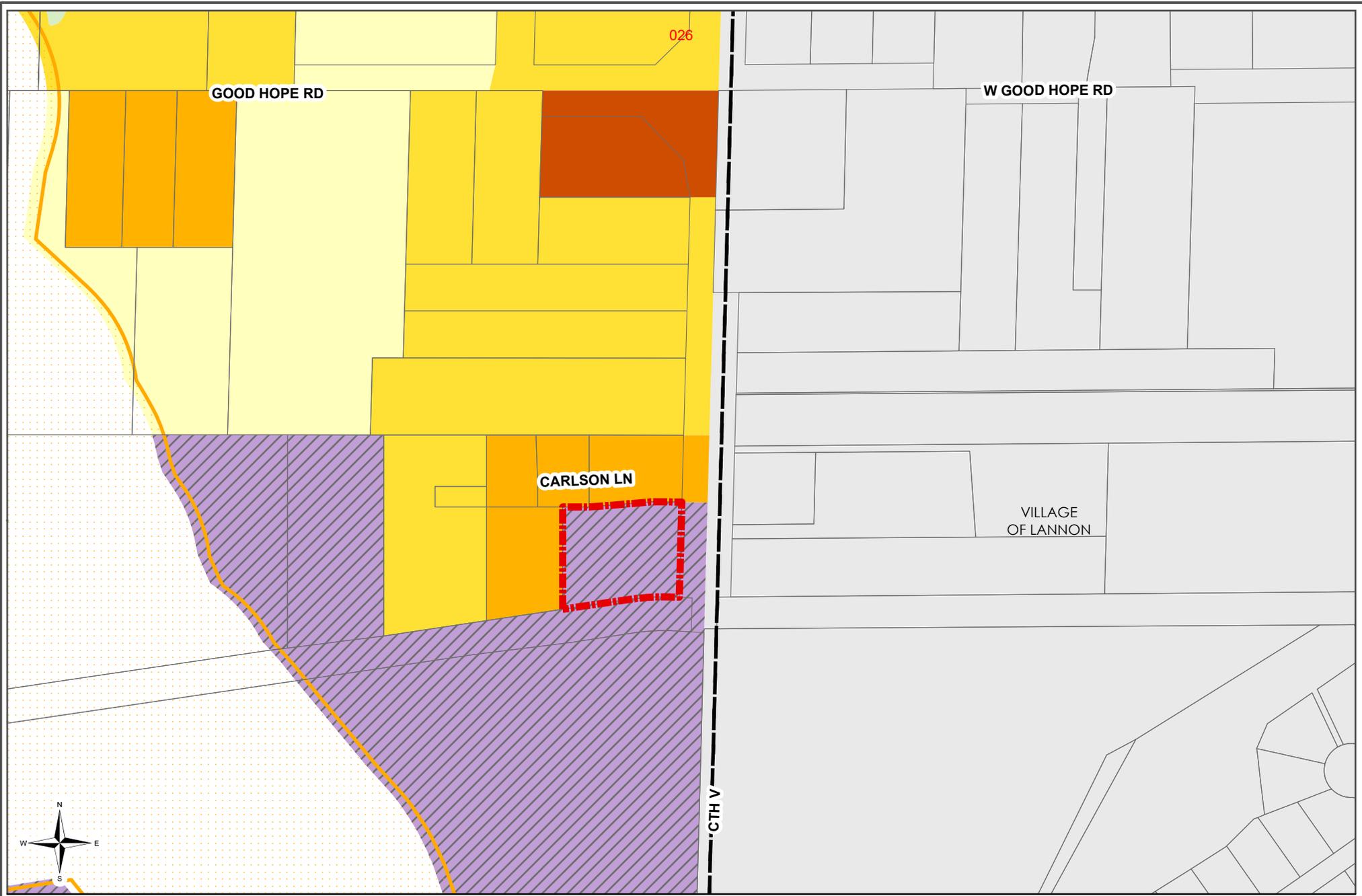


Exhibit B Parcel 0237.981.002 Zoning

Town of Lisbon - May 6, 2020



vierbicher
planners | engineers | advisors



REEDSBURG - MADISON - PRAIRIE DU CHIEN - MILWAUKEE METRO
N27 W23957 Paul Road, Suite 105, Pewaukee, WI 53072
Phone: (262) 875-5000 Fax: (608) 826-0530



April 10, 2020

Town of Lisbon

Attn: Joshua Langen
W234 N8676 Woodside Road
Lisbon, WI 53089-1545

Re: Associated Landscape Services
W220 N7071 Townline Road

Mr. Langen,

The following is a petition on behalf of Associated Landscape Services to obtain a conditional use permit to construct and new building and storage yard. As part of the conditional use permit, several conditions need to be met. Below are the conditions and how they would be met, or if not, the reasoning why the condition cannot be met:

11. Contractor's Yard: In A-10, A-5, B-3, Q-1, or Industrial Districts, and in all cases, the following requirements shall be met in order to grant a conditional use:

A. The minimum lot area shall be at least five (5) acres.

The existing lot is zoned M-2, General Industrial, but is 0.9929 acres which makes it an existing substandard lot. With the Bugline Trail to the South, CTH V to the east and residential zoning to the north and west, expansion is not possible.

B. All buildings used in the conduct of the business shall be located at least one hundred (100) feet from the lot line of an adjoining lot permitting a residential use or at least fifty (50) feet from a lot line of an adjoining lot in any other district.

The adjacent lots to the north are residential. With the required 200' north setback from residential there is no place for the building, yard or otherwise to be built. The existing building is currently 20' into the north setback. The proposed building would be sited no closer than what is existing.

C. No such use shall be allowed on any parcel, unless the parcel fronts directly upon and has access to an arterial or major collector street, as defined in this Ordinance, or within an established industrial park, where the roads can accommodate the heavy equipment.

The property directly fronts and has access to Townline Road (CTH V) which is an arterial road according to the Established Street and Highway Width Map of Waukesha County.

D. A planting screen at least ten (10) feet high in initial height shall be provided between any abutting property line and the proposed use. The plan commission may increase or decrease the planting screen requirements as may be deemed appropriate.

There is an existing screen on the east and north property lines. The rest of the area behind the existing building is screened with slatted chain link fence. Existing trees border the property further providing screening. Screening cannot be provided to the south due to an existing 30' access easement for the lots to the west.

- E. In determining whether or not the proposed conditional use should be approved, the plan commission shall make a determination that the proposed conditional use is compatible with adjacent land uses. If it is determined that the proposed conditional use would in any way be incompatible with the adjacent land uses or represent an adverse effect or nuisance to adjacent land uses, the proposed conditional use shall not be approved.*

The lot to the south is zoned General Industrial and has a contractor's yard. The property would be compatible with these land uses.

- F. The Site Plan and Plan of Operation submitted for review and approval must include the type and quantity of equipment and vehicles owned or leased by the property owner, the storage of materials, and hours of operation.*

This list shall be provided by the owner in the Plan of Operations.

Please review this petition and provide your approval. If you have any questions or comments, feel free to contact us.

Sincerely,



Jacob Rosbeck, P.E.

Cc: John Smaglik



Plan Commission Application

Application Type and Fee (check all that apply)

*Application fees are non-refundable. Fees cover costs associated with public notification, postage, copies, and document recording, however applicants agree to pay all additional expenses that the Town may incur by virtue of contracted plan review services including but not limited to: legal, surveying and engineering costs and studies.

Commercial
**All commercial projects including any change of occupancy, change of use, or construction/alteration must be submitted to the Lisbon Fire Department as well for review and inspections.*

Residential – Home-Based Bus. / In-Law Unit

- Accessory Building Waiver: \$100 (Size/Location/Architectural Review)
- After the Fact Application: Double Fees
- Certified Survey Map: \$200 + \$10 Per lot
 - Dedication Fee (Per lot): \$2,658 (Paid upon receipt of signed CSM)
- Conditional Use Permit: \$350
 - Amendment / Original
 - Major Grading Permit
- Deed Restriction: \$100
- Developer's Agreement: \$250
- Groundwater Separation Waiver: \$100
- Land Use Amendment: \$300
- Conceptual: \$100
- Plat Review:
 - Final - \$200
 - Preliminary - \$500
- Re-Submittal: \$200
- Rezone: \$350
- Sign Permit Application: \$30 + Sign Fees (See Adopted Fee Schedule)
- Site Plan/Plan of Operation:
 - Amendment: \$250
 - Original: \$500
 - Temporary: \$125
- Special Meeting: \$600
- Waivers/Modification from Land Division and Development Ordinance: \$200

Property Information

W220 N7071 TOWNLINE ROAD, LISBON, 53089
 Property Address City Zip

LSBT0237981002 0.9929 Commercial/Mercantile
 Tax Key/Parcel ID # Lot Size Current Zoning

Property Owner

John Smaglik
 Name / Company Name

John Smaglik
 Signature

4582 W22350 SANDRA DR
 Address

Lisbon WI 53089
 City State Zip

262-825-7927 ASSOCIATED LANDSCAPE @ W3.PR.COM
 Phone E-mail Address

Applicant

 Name

SAME
 Company

 Address

 City State Zip

 Phone E-Mail Address

A complete application along with the appropriate fees shall be submitted by the deadline stated on the meeting schedule. In order for an application to be considered complete, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. If applying for a conditional use or development agreement, a document showing vested interest in the property is required. The Town of Lisbon reserves the right not to accept an application that is deemed incomplete



030

TOWN OF LISBON
W234 N8676 Woodside Rd.
Lisbon, WI 53089

PETITION FOR A CONDITIONAL USE PERMIT

Property Owner

Applicant

John Smaglik
Name / Company Name

John Smaglik
Name

John Smaglik
Signature

Associated Landscape Services
Company

N82W22390 Sandra dr
Address

N82W22390 Sandra dr
Address

Lisbon WI 53089
City State Zip

Lisbon WI 53089
City State Zip

Phone _____ E-mail Address _____

262 825 7927 Associated Landscape
Phone E-Mail Address
@wi.rl.com

Property Information

W220 N7071 Townline Rd Lisbon 53089
Property Address City Zip

LSBT 0237981002
Tax Key/Parcel ID #

0.9929
Lot Size

Commercial/Mercantile
Current Zoning

Conditional Use Information

In the space below, please describe the purpose of the Conditional Use being applied for. Please attach or email a separate sheet if necessary.

Please ATTACHED Separate Sheet.

INTERNAL USE ONLY
Amount Due: \$ _____ Check # _____ Date Paid: _____



PROFESSIONAL SERVICE REIMBURSEMENT FEES:

Pursuant to the Town of Lisbon Municipal Code Section 1.14, the Town of Lisbon Town Board has made a determination that whenever the services of the Town Planner, Town Engineer, Town Attorney, or any other of the Town's professional staff results in a charge to the Town for that professional's time and services, and such service is not a service supplied to the Town as a whole, the Town Treasurer shall charge one hundred and five percent of the cost of that service for the fees incurred by the Town to the property owner incurring those fees even if the request is not approved. The additional five percent cost above the cost of the service is levied to cover Town administrative charges. Also, pursuant to the Town of Lisbon Municipal Code Section 1.14, certain other fees, costs, and charges are the responsibility of the property owner even if the request is not approved. Imposition of any fees, costs, or charges, however, is subject to the property owner's appeal rights as described in the Town of Lisbon Municipal Code Section 1.14

The undersigned, have been advised that, pursuant to the Town of Lisbon Municipal Code Section 1.14, if the Town Planner, Town Engineer, Town Attorney, or any other Town professional provides services to the Town because of my/our activities, whether at my/our request or at the request of the Town, I/we shall be responsible for the fees incurred by the Town. In addition, I/we have been advised that pursuant to the Town of Lisbon Municipal Code Section 1.14, certain other fees, costs, and charges are my/our responsibility even if my/our request is not approved. By signing this document, I am not waiving my/our appeal rights that are described in the Town of Lisbon Municipal Code Section 1.14.

Statements will be sent monthly so you are kept up to date regarding your current charges.

RESPONSIBLE PARTY, NAME, MAILING ADDRESS, SIGNATURE & DATE:

NAME John Smaglik
 ADDRESS N82 W22390 Sandra Drive, Lisbon, WI 53089
 DATE 4-10-20 SIGNATURE *John Smaglik*
 PHONE 262-825-7927 EMAIL associatedlandscape@wi.rr.com

PROPERTY OWNER NAME, MAILING ADDRESS, SIGNATURE & DATE:

NAME Same
 ADDRESS _____
 DATE _____ SIGNATURE _____
 PHONE _____ EMAIL _____

PROJECT NAME N220 W7071 Townline Road, Town of Lisbon



SITE INSPECTION NOTIFICATION:

The Town of Lisbon Town Plan Commission and Town Board request permission of the property owner or responsible party to enter the subject property, between the hours of 9am to 5pm or upon prior 24 hour notice, for a site inspection prior to any scheduled Plan Commission or Board meeting. The site inspection will allow the Town Plan Commission and Town Board to make more informed decisions with respect to the requested application.

I, the undersigned, have been advised that my signature grants permission to members of the Town Plan Commission and Town Board to conduct site inspections of the subject property. Failure to authorize said site inspection will not be held against the property owner or responsible party in the decision of the requested application; however, the site inspection does allow the Town Plan Commission and Town Board to make more informed decisions.

RESPONSIBLE PARTY, NAME, MAILING ADDRESS, SIGNATURE & DATE:

NAME John Smaglik
ADDRESS N82 W22390 Sandra Drive, Lisbon, WI 53089
DATE 4-10-20 SIGNATURE *John Smaglik*
PHONE 262-825-7927 EMAIL associatedlandscape@wi.rr.com

PROPERTY OWNER NAME, MAILING ADDRESS, SIGNATURE & DATE:

NAME Same
ADDRESS _____
DATE _____ SIGNATURE _____
PHONE _____ EMAIL _____

COMMENTS:

Town Official Accepting Form

Date

March 6, 2020

Plan of operation for Associated Landscape Services LLC

Our company, Associated Landscape Services, was started in 1993 and successfully running our business since April of 2008 at this location of W220 N7071 Town Line Road.

During that twelve-year stint, at this location we have been comfortable with the limitations of time of operation and facility operations instilled upon us by the Town of Lisbon. We do not see a need to change hours of operation or noise restrictions.

We are a service company that performs our work off site. We do not sell product or materials to the general public. We are not in the retail end of this industry. Any materials brought onto this site are for the use of our customers at their site. Flammables and hazardous material are only kept in approved containers or original packaging.

Our future plan of operation does not see a change in plans.

The larger and improved modern facility will allow greater ease of operation and protection of equipment from the elements of weather and dust created by local quarries.



April 14, 2020

Town of Lisbon

Attn: Joshua Langen
W234 N8676 Woodside Road
Lisbon, WI 53089-1545

Re: Associated Landscape Services
W220 N7071 Townline Road

Mr. Langen,

The following is a petition on behalf of Associated Landscape Services to obtain a conditional use permit to construct and new building and storage yard. As part of the conditional use permit, several conditions need to be met. Below are the conditions and how they would be met, or if not, the reasoning why the condition cannot be met:

Chapter 11 Section 3(j) - Off-Street Parking:

7. *Setback: In any off-street parking area, other than that provided for a residence, no vehicle shall be parked closer than ten (10) feet to the base setback line, except where more restrictive requirements apply.*

The existing parking area is closer than 10 feet. Due to the size of the lot and to accommodate the existing screened fence, parking requirements, and area for vehicles to turn around, the parking spots in the northeast will remain at the existing edge of gravel, behind a vegetated screen.

Chapter 11 Section 4(h) - Conditional Uses Permitted:

11. *Contractor's Yard: In A-10, A-5, B-3, Q-1, or Industrial Districts, and in all cases, the following requirements shall be met in order to grant a conditional use:*

- A. *The minimum lot area shall be at least five (5) acres.*

The existing lot is zoned M-2, General Industrial, but is 0.9929 acres which makes it an existing substandard lot. With the Bugline Trail to the South, CTH V to the east and residential zoning to the north and west, expansion is not possible.

- B. *All buildings used in the conduct of the business shall be located at least one hundred (100) feet from the lot line of an adjoining lot permitting a residential use or at least fifty (50) feet from a lot line of an adjoining lot in any other district.*

The adjacent lots to the north are residential. With the required 200' north setback from residential there is no place for the building, yard or otherwise to be built. The existing building is currently 20' into the north setback.

No such use shall be allowed on any parcel, unless the parcel fronts directly upon and has access to an arterial or major collector street, as defined in this

Ordinance, or within an established industrial park, where the roads can accommodate the heavy equipment.

The property directly fronts and has access to Townline Road (CTH V) which is an arterial road according to the Established Street and Highway Width Map of Waukesha County.

- C. *A planting screen at least ten (10) feet high in initial height shall be provided between any abutting property line and the proposed use. The plan commission may increase or decrease the planting screen requirements as may be deemed appropriate.*

There is an existing screen on the east and north property lines. The rest of the area behind the existing building is screened with slatted chain link fence. Existing trees border the property further providing screening. Screening cannot be provided to the south due to an existing 30' access easement for the lots to the west.

- D. *In determining whether or not the proposed conditional use should be approved, the plan commission shall make a determination that the proposed conditional use is compatible with adjacent land uses. If it is determined that the proposed conditional use would in any way be incompatible with the adjacent land uses or represent an adverse effect or nuisance to adjacent land uses, the proposed conditional use shall not be approved.*

The lot to the south is zoned General Industrial and has a contractor's yard. The property would be compatible with these land uses.

- E. *The Site Plan and Plan of Operation submitted for review and approval must include the type and quantity of equipment and vehicles owned or leased by the property owner, the storage of materials, and hours of operation.*

This list shall be provided by the owner in the Plan of Operations.

Chapter 11 Section 32(f) - Building Location

2. *Offset:*

- B. *Buildings or uses not permitted in the more restrictive zoning district shall provide a one hundred (100) foot minimum offset from a restricted or local business zoning district, and a two hundred (200) foot minimum offset from a residential or agricultural zoning district, and shall be screened from the more restrictive zoning district by a planting screen at least six (6) feet high and fifteen (15) feet in width.*

The lot is 185.6 feet wide. A 200-foot offset from the adjacent residential lots to the north is impossible. From the rear, a 200-foot offset falls within the 50' building setback, leaving no buildable area.

Chapter 12 Addendum A Section 2 - Landscaping



2.1 Landscaping and Buffering Standards

Using the calculations to determine the land use buffers, there would need to be 50' buffers to the residential lots to the north and west, and 20' buffers to the south and east. The south buffer cannot be met due to a 33' access easement to the adjacent lots to the west. Due to the size of the lot, the north and west buffers create an area that would not allow for vehicle movement and outdoor storage of landscaping materials.

2.2 Other General Landscaping Guidelines

a) Ample green space at least 30 feet in width along arterial roadways

The 30' buffer would not allow for enough pavement to construct customer parking or space for vehicles to navigate or for a loading/unloading area.

The site does have some existing landscape screening as well as a 6' tall slatted chain link fence encompassing the storage lot.

Chapter 12 Addendum A Section 3 - Parking

(g) Commercial parking lots shall not be located in the street yard

Due to the size of the lot, restricting parking to the side or rear yard would not allow for material and vehicle storage on the property. No parking can be on the south side due to the 33' access easement.

Please review this petition and provide your approval. If you have any questions or comments, feel free to contact us.

Sincerely,

A handwritten signature in black ink that reads "Jacob Rosbeck".

Jacob Rosbeck, P.E.

Cc: John Smaglik

FN: WA-16-20



W234N8676 WOODSIDE RD. • LISBON, WI 53089-1545 • TEL: (262) 246-6100 • FAX: (262) 820-2023
E-mail: townhall@townoflisbonwi.com • Website: www.townoflisbonwi.com

SITE PLAN AND PLAN OF OPERATION

Please fill out the entire application all questions need a response. If something does not apply please put N/A. Incomplete applications will not be processed or put on the agenda. The completion of this application form must be accompanied by one copy of an up to date and detailed Site Plan drawn to scale and including, but shall not be limited to, all existing buildings, signage, lighting, landscaping, parking, loading, storage, dumpsters, septic and well, etc; an interior layout (plans) of all buildings and the existing and proposed uses of the interior spaces (i.e., office, retail, restaurant, etc); and any other supporting materials. The above shall be submitted to the Town Hall, and upon review of the information, additional items may be required. The plans shall be drawn to scale and shall be no larger than 11" x 17", and shall also be emailed as a PDF. Future revisions to the approved Site Plan/Plan of Operation will require new approvals.

- ^{NA} New business in existing building or on existing site New Owner Temporary Use
- ^{NA} Change in Operations (summarize below what is changing; days/hours, etc)

- ^{NA} Change in Use (summarize below prior and new use below)

BUSINESS / PROPERTY OWNER & PROPERTY INFORMATION

Tax Key Number LSBT 0237981002 Acres 0.9929 Zoning Commercial
mercantile

Business Name & Contact Person: ASSOCIATED LANDSCAPE SERVICES John Smaglik

Full Address (include City & Zip): N82W22390 Sandra dr Lisbon 53089

Phone Number & Email: 262 825 7927 ASSOCIATEDLANDSCAPE@WI.PR.COM

Signature & Date: John Smaglik March 10-2020

Property Owner Name: John Smaglik

Full Address (include City & Zip): N82W22390 Sandra dr Lisbon 53089

Phone Number & Email: 262 825 7927 ASSOCIATEDLANDSCAPE@WI.PR.COM

Signature & Date: John Smaglik March 10-2020

1. Is this business replacing another business? Yes No

a. If yes, what is the prior business' name: _____

2. Is this an expansion of an existing Town approved/based operation? Yes No

a. If yes, please explain: LARGER Facility

HOURS OF OPERATION & OPERATING SPECIFICS

3. Describe in detail below the specific type of business operation (Retail, Restaurant, Manufacturing, Office, etc.), including temporary, accessory, and outdoor uses (storage, etc). Provide a separate list of all items sold or produced on the property. If items are produced, please provide a separate explanation of the production process.

This site / facility will be used To house our Landscape equipment and vehicles, this site will also be used for STORAGE of Trailers and Vehicles.

* There are to be NO items sold or manufactured ON Site.

4. Days & Times of Operation:

a. Days & Times: M-F 6A-6PM Sat 7A-1PM SUN-NA

5. Employees (if self-employed please count yourself)

a. Full-Time 1

b. Part-Time 1

FOOD / BEVERAGE / LIQUOR

6. Is there any food & beverage / liquor service? Yes No

a. If yes, please explain: _____

7. Table Seating Capacity

NA

a. Outside: _____

b. Inside: _____

c. Bar: _____

8. Food / Soda Vending Machines Yes No

NA

a. If yes, quantity of each: _____

OUTDOOR USES

9. Is there any outdoor storage? Yes No

a. If yes, please explain: Vehicles and TRAILERS

10. Will there be any outdoor events? Yes No

a. If yes, please describe the types of events, parking accommodations, sanitary facilities and delineate the locations of the events on the Site Plan submitted. Attach a separate sheet if necessary.

11. Will there be any customer dockage? Yes No

a. If yes, please indicate on the Site Plan length and number of piers.

12. Parking Lot

a. Dimensions 50x80

b. Total number of spaces 4

c. Number of spaces allotted for employees 3

MUSIC / ENTERTAINMENT

13. Are any problems such as odor, smoke or noise resulting from this operation? Yes No

a. If yes, describe what types (live, amplified, recorded, jukebox, etc), indoors and/or outdoors, and the days and hours music will be provided? Attach a separate sheet if necessary.

14. Game Machines Yes No

a. Quantity: _____

b. Location: _____

BUILDINGS

15. Building A

a. Dimensions & Levels: 60x80 - 1 Level

b. Use: STORAGE of equipment and Vehicles

16. Building B

\ a. Dimensions & Levels: _____

b. Use: _____

17. Building C

\ a. Dimensions & Levels: _____

b. Use: _____

LIGHTING (Submit Cut-Sheets)

18. Outdoor Lighting

a. Type(s): _____

b. Locations(s): _____

SIGNAGE (Also submit the Town's Signage Application & appropriate fees)

19. Describe below the type of signage that exists and what signage is proposed on the site (attached, free standing, ground, mobile, projecting, window, electronic message, banners, flags, sandwich boards, etc.) and if the signs are illuminated, single/double faced, along with the number, size, and height of all signs.

NO SIGNAGE TO BE PROPOSED.

CHEMICALS/HAZARDOUS MATERIALS

20. Are there any Chemicals, Hazardous Waste or Solvents stored on the site? Yes No

a. If yes, please list those items and how they are disposed of or attach a separate sheet if necessary.

THERE ARE NO MATERIALS SUBJECT TO RCRA SUBTITLE C REGULATION ON THIS SITE.

bry

21. Does this Operation involve the Storage/Sale of gasoline or any other Petroleum Products? Yes No

a. If yes, please list those items and how they are disposed of or attach a separate sheet if necessary.

STORAGE OF GASOLINE TO BE IN TYPE II METAL CANS HOUSED IN SEPERATE AREA, AWAY FROM STRUCTURE. NO INSIDE STORAGE OF FUEL!

STORM WATER RETENTION, FLOW OF SURFACE WATER, AND AMOUNT OF IMPERVIOUS SURFACES

22. Are there surface water drainage facilities? Yes No

a. If yes, please explain:

REFUSE DISPOSAL

23. Are there dumpsters/waste containers on the site? Yes No

a. If yes, show on the Site Plan submitted the location of dumpsters and any screening.

PERMIT APPROVAL / ISSUANCE DATES

24. Is Highway Access Permit Needed? Yes No

a. Date Issued: _____

25. DNR Well Approval (For New Constructions Only)

a. Date Approved: NA _____

26. Septic System Approval (For New Constructions Only)

a. Date Approved: NA _____

27. Fire Department Inspection Yes No

a. Date Inspected: UNKNOWN _____

? 28. Did the Wisconsin Department of Safety & Professional Services approve building plans? Yes No

a. Date Approved: UNKNOWN _____

29. Is security fencing necessary? Yes No

HORSE BOARDING

30. Does this Operation involve the Boarding of Horses? Yes No

a. Maximum number of horses boarded: _____

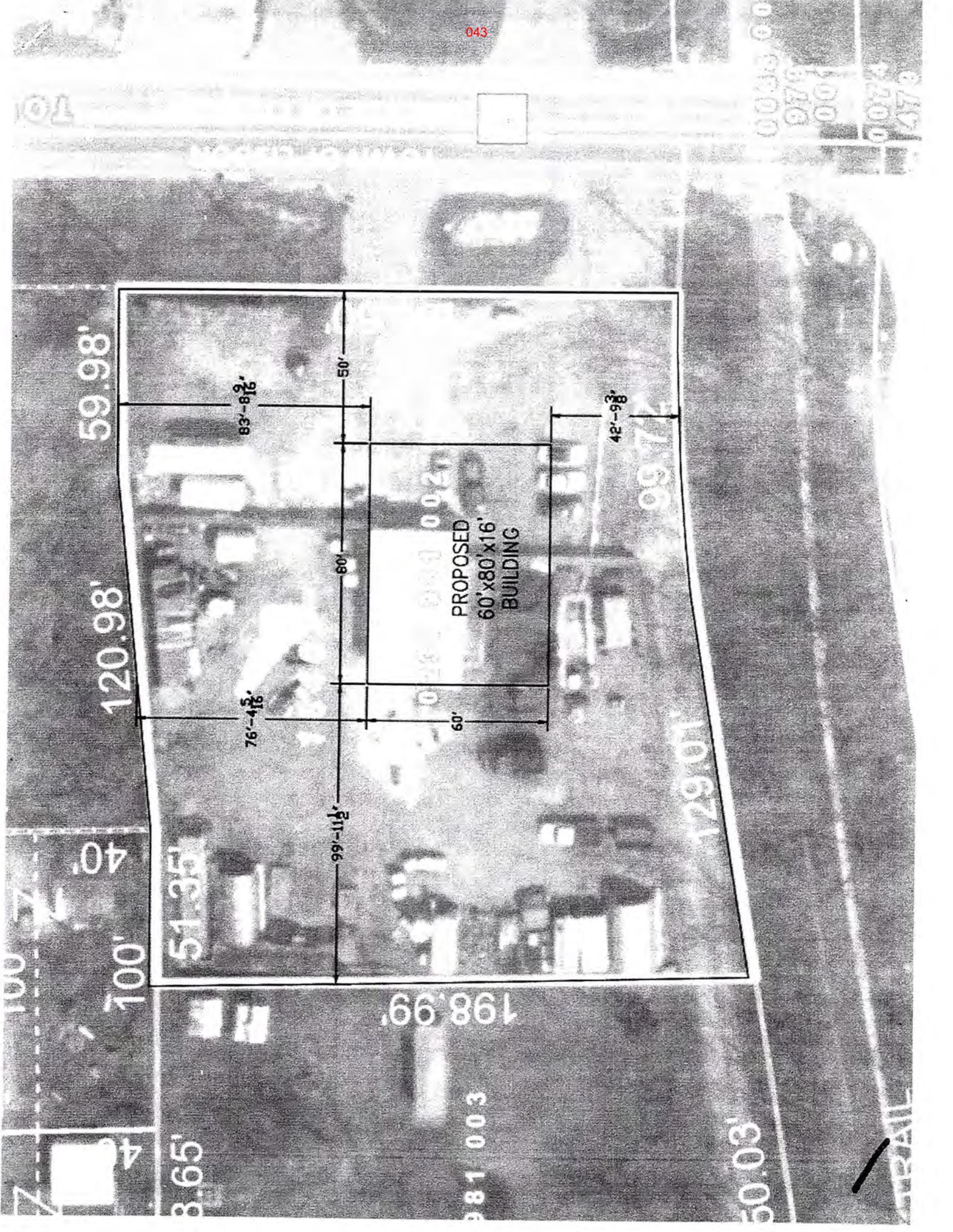
b. Maximum number of horses owned: _____

31. Has a Conservation Plan been prepared by the Land Conservation Committee? Yes No

a. Date Prepared: _____

.....
Town Approval Date(s): _____

County Approval Date(s): _____



59.98'

120.98'

83'-8 ³/₁₆'

50'

PROPOSED
60'x80'x16'
BUILDING

42'-9 ³/₈'

76'-4 ⁵/₁₆'

60'

60'

99'-10 ¹/₂'

51.35'

99.72'

129.01'

198.99'

3.65'

50.03'

0038.00
979
001
0074
473

TRAIL

W220 N7071 TOWNLINE ROAD, TOWN OF LISBON

BUILDING, PARKING LOT CONSTRUCTION

TOWN OF LISBON, WISCONSIN

LOCATION MAP:



QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants



122 Wisconsin Street, West Bend, Wisconsin 53095
Phone (262) 346-7800; www.quamengineering.com

CIVIL SHEET INDEX:	
SHEET	SHEET TITLE
C-100	COVER
C-101	CONSTRUCTION NOTES
C-102	EXISTING SITE & DEMOLITION PLAN
C-103	PROPOSED SITE PLAN
C-104	EROSION CONTROL PLAN
C-105	EROSION CONTROL DETAILS
C-106	GRADING PLAN
C-107	LANDSCAPE PLAN
C-108	LIGHTING PLAN

PROJECT CONTACTS:	BENCHMARK:
<p>OWNER: ASSOCIATED LANDSCAPE SERVICES ATTN: JOHN SMAGLIK N82 W22390 SANDRAS DRIVE LISBON, WI 53089-1736</p> <p>CIVIL: QUAM ENGINEERING, LLC ATTN: KEVIN PARISH 122 WISCONSIN STREET WEST BEND, WI 53095</p>	<p>SITE BENCHMARK: SOUTHEAST PROPERTY IRON (PARTIALLY BURIED) ELEV=904.80</p>
<p style="text-align: center;">DIGGERS HOTLINE</p> <p style="text-align: center;">Dial 811 or (800)242-8511</p> <p style="text-align: center;">www.DiggersHotline.com</p>	<p>NOTES: THE CONTRACTOR SHALL REFER TO THE MUNICIPAL STANDARD SPECIFICATIONS, WATER SPECIFICATIONS, WSDOT, AND STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN.</p>

GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES:

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPS 360 382-383, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.
5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
8. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.5" OR MORE. REPAIRS SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.
10. TRASH AND DEBRIS SHALL BE NOT ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK.
11. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.

SPECIFICATIONS FOR GRADING & EROSION CONTROL:

1. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR HAUL OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.
3. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE VEGETATION FROM THE SITE BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING.
4. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING COMPACTION AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERCEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WRITING BEFORE ANY DEVIATIONS ARE MADE.
5. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIALS, FREE OF ALL ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIAL AND INSPECTED AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER. PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF PROF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERCUT, AND COMPACTING THE SCARIFIED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW. THE COMPACTED FILL MATERIALS SHALL BE FREE OF ANY DELETERIOUS, ORGANIC OR FROZEN MATTER AND SHALL HAVE A MAXIMUM LIQUID LIMIT (ASTM-D-423) AND PLASTICITY INDEX (ASTM D-424) IF 30 AND 10 RESPECTIVELY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP TWELVE (12") INCHES OF COMPACTED FILL SHOULD HAVE A MAXIMUM THREE (3") INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6") INCH PARTICLE DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER. ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT. IF THE FILL IS TO PROVIDE NON-FROST SUSCEPTIBLE CHARACTERISTICS, IT MUST BE CLASSIFIED AS A CLEAN GW, GP, SW, OR SP PER UNITED SOIL CLASSIFICATION SYSTEM (ASTM D-2487). FOR STRUCTURAL FILL THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION TO THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF THE MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS. THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER TAKING INTO CONSIDERATION THE TYPE OF MATERIALS AND COMPACTION EQUIPMENT BEING USED. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION. MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY. DISCING, HARROWING OR PULVERIZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE, AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-398) MAXIMUM DENSITY.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. SUBGRADE TOLERANCES ARE +/- 1" FOR LANDSCAPE AREAS AND +/- 1/2" FOR ALL PAVEMENT AND BUILDING AREAS.
8. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS, ROOTS, OLD VEGETATION, ROCKS OVER 2" DIAMETER AND SHALL NOT BE EXCESSIVELY CLAYEY IN NATURE. NO CLUMPS LARGER THAN 4" ARE ACCEPTABLE. TOPSOIL MAY BE AMENDED AS NEEDED WITH SAND OR COMPOST TO BE LOOSE WHEN SPREAD.
9. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHED OR PUMPING TO ALLEVIATE WATER PONDING. ANY DEWATERING SHALL NOT GO DIRECTLY TO STREAMS, CREEKS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DEWATERING TREATMENT DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.
10. THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE EXISTING GRAVEL PARKING IS TO BE USED AS STONE TRACKING PAD. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
11. SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
12. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
13. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 4:1.
14. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
15. ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH CURLEX EROSION CONTROL FABRIC (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

SPECIFICATIONS FOR PRIVATE UTILITIES:

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN. CONTRACTOR SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS. CONNECTIONS TO WATER MAIN SHALL BE WET TAPED WITH A STAINLESS STEEL TAPPING SLEEVE.
3. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES AND IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION WISCONSIN, LATEST EDITION. PROPOSED SANITARY SEWER AND INTERNALLY CONNECTED STORM SEWER SHOWN IN THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. THE EXACT LOCATION OF ALL DOWN SPOUT CONNECTIONS SHALL BE PER THE ARCHITECTURAL PLANS.
4. CONTRACTOR SHALL NOT SHUT OFF WATER OR PLUG SANITARY SEWER IN MUNICIPAL LINES WITHOUT PRIOR APPROVAL.
5. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 48" OR LESS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH WATERWAY SUCH AS ADS N-12. FOR PIPE 10" OR LESS IN DIAMETER, PVC, ASTM D-3034, SDR-26, MAY ALSO BE USED. WHERE SPECIFICALLY REQUIRED, REINFORCED CONCRETE PIPE (RCP), ASTM C-76, CLASS III OR HIGHER, MAY BE USED. TRENCH SECTION SHALL BE CLASS "B" FOR PVC AND HDPE AND CLASS "C" FOR CONCRETE (PER STANDARD SPECIFICATIONS). MANHOLES, INLETS AND CATCH BASINS SHALL BE PRE CAST REINFORCED CONCRETE, ASTM C-478. CASTINGS SHALL BE HEAVY DUTY CAST IRON. AREA DRAINS SHALL BE ADSNYLOPLAST OR EQUIVALENT AND SHALL BE A MINIMUM OF 24" IN DIAMETER. CONNECTIONS TO EXISTING PIPES SHALL BE MADE WITH INSERT A WYE OR EQUIVALENT. LAST (3) THREE JOINTS SHALL BE RESTRAINED WITH RODS. PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.
6. MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS: SANITARY SEWER SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-3212. TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTIONS SHALL BE MAD WITH A INSERT A WYE OR EQUIVALENT. A MINIMUM OF 6" OF COVER IS REQUIRED FOR ALL SANITARY SEWER.
7. MATERIALS FOR WATER SERVICES AND PRIVATE HYDRANTS SHALL BE AS FOLLOWS: WATER SERVICES SHALL BE PVC, HDPE, OR DI AS ALLOWED BY MUNICIPAL CODE, PVC SHALL BE AWWA C-900, DI SHALL BE AWWA C151, CLASS S2 (OR AS REQUIRED BY LOCAL CODE). TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTION SHALL BE MADE WITH A WET TAP, CORPORATE STOP AND VALVE BOX PER MUNICIPAL STANDARDS. A MINIMUM OF 6" COVER IS REQUIRED FOR ALL WATER MAIN. VALVES SHALL BE NON RISING STEM, RESILIENT SEATED GATE VALVES COMPLYING WITH AWWA C509 WITH A THREE PIECE CAST IRON VALVE BOX. INSTALL THRUST BLOCKS AT ALL BENDS AND TEES. DISINFECT ALL NEW LINES AND OTHER SAFE WATER SAMPLE PRIOR TO USE.
8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
9. TRACER WIRE (NO.8 SINGLE STRAND COPPER) AND WARNING TAPE SHALL BE INSTALLED ON ALL UTILITIES IN ACCORDANCE WITH THE LOCAL AND STATE CODES. TRACER WIRE SHALL TERMINATE IN A VALVECO TERMINAL BOX AT EACH END IN ACCORDANCE WITH 182.0715(2R) OF STATE STATUTES.
10. MANDREL TESTING ON SANITARY LINES AND PRESSURE TESTING ON WATER MAIN MAY BE REQUIRED BY THE OWNER OR MUNICIPALITY.
11. UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
12. ALL UTILITY CONSTRUCTION SHALL BE DONE IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
13. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION SIZE AND DEPTH OF NEW SERVICE.

SPECIFICATIONS FOR PAVING:

1. AGGREGATES USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE GRADATION REQUIREMENTS SECTIONS 301.2 AND 305.2.2 OF THE STANDARD SPECIFICATIONS. THICKNESS SHALL BE PER THE DETAIL ON THE PLANS. BASE SHALL BE 1-1/2" INCH DIAMETER LIMESTONE TRAFFIC BOND AGGREGATE BASE COURSE UNLESS NOTED OTHERWISE. SUBSTITUTION AND/OR RECYCLED MATERIALS MAY BE ALLOWED WITH APPROVAL FROM THE OWNER.
2. SUBGRADE SHALL BE PROOFROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STONE BASE. EXCAVATE UNSUITABLE AREAS AND REPLACE WITH BREAKER RUN STONE AND RECOMPACT. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS.
3. EXISTING PAVEMENT SHALL BE SAWCUT IN NEAT STRAIGHT LINES TO FULL DEPTH AT ANY POINT WHERE EXISTING PAVEMENT IS REMOVED. CURB AND WALK SHALL BE REMOVED TO THE NEAREST JOINT. REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING. MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK.
4. ASPHALT FOR PARKING AREAS AND THE PRIVATE ROAD SHALL BE PER THE DETAILS MATERIALS AND PLACEMENT SHALL CONFORM TO THE DOT STANDARD SPECIFICATIONS, SECTION 450 AND 460 LT 58-28 S IS REQUIRED UNLESS NOTED OTHERWISE A COMMERCIAL GRADE MIX MAY BE SUBSTITUTED ONLY WITH APPROVAL FROM THE OWNER.
5. TACK COAT SHALL BE IN ACCORDANCE WITH THE SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.025 GAL/SY.
6. CONCRETE FOR CURB, DRIVEWAYS, WALKS, AND NON-FLOOR SLABS SHALL CONFORM TO SECTION 415 OF THE STANDARD SPECIFICATIONS, GRADE A, ASTM C-94, 6 BAG MIX WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI. JOINTING SHALL BE PER SECTION 415.3.7 OF THE STANDARD SPECIFICATIONS WITH CONSTRUCTION JOINTS HAVING A MAXIMUM SPACING OF 10'. EXPANSION JOINTS SHALL BE PROVIDED EVERY 50'. CONCRETE SHALL BE FINISHED PER SECTION 415.3.8 WITH A MEDIUM BROOM TEXTURE. A CURING MEMBRANE IN CONFORMANCE WITH SECTION 415.3.12 IS REQUIRED.
7. PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH WISCONSIN DOT SECTION 646 OF THE STANDARD SPECIFICATIONS AND WITH LOCAL CODES. THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:
 PARKING STALLS: WHITE
 PEDESTRIAN CROSSWALKS: WHITE
 LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW
 LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE
 ADA SYMBOLS: WHITE

RESTORATION NOTES:

1. ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEEDED WITH OLDS "NOMOW" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEEDED WITH MADISON PARKS MIX OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.
2. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.
3. ALL FINISH GRADED AREAS SHALL BE SEEDED AND MULCHED BY SEPTEMBER 15TH. IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY OCTOBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP). AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEEDED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1059, FOR SEEDING RATES OF COMMONLY USED SPECIES. THE RESIDUE FROM THIS CROP MAY EITHER BE INCORPORATED INTO THE SOIL DURING SEEDBED PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDED AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.

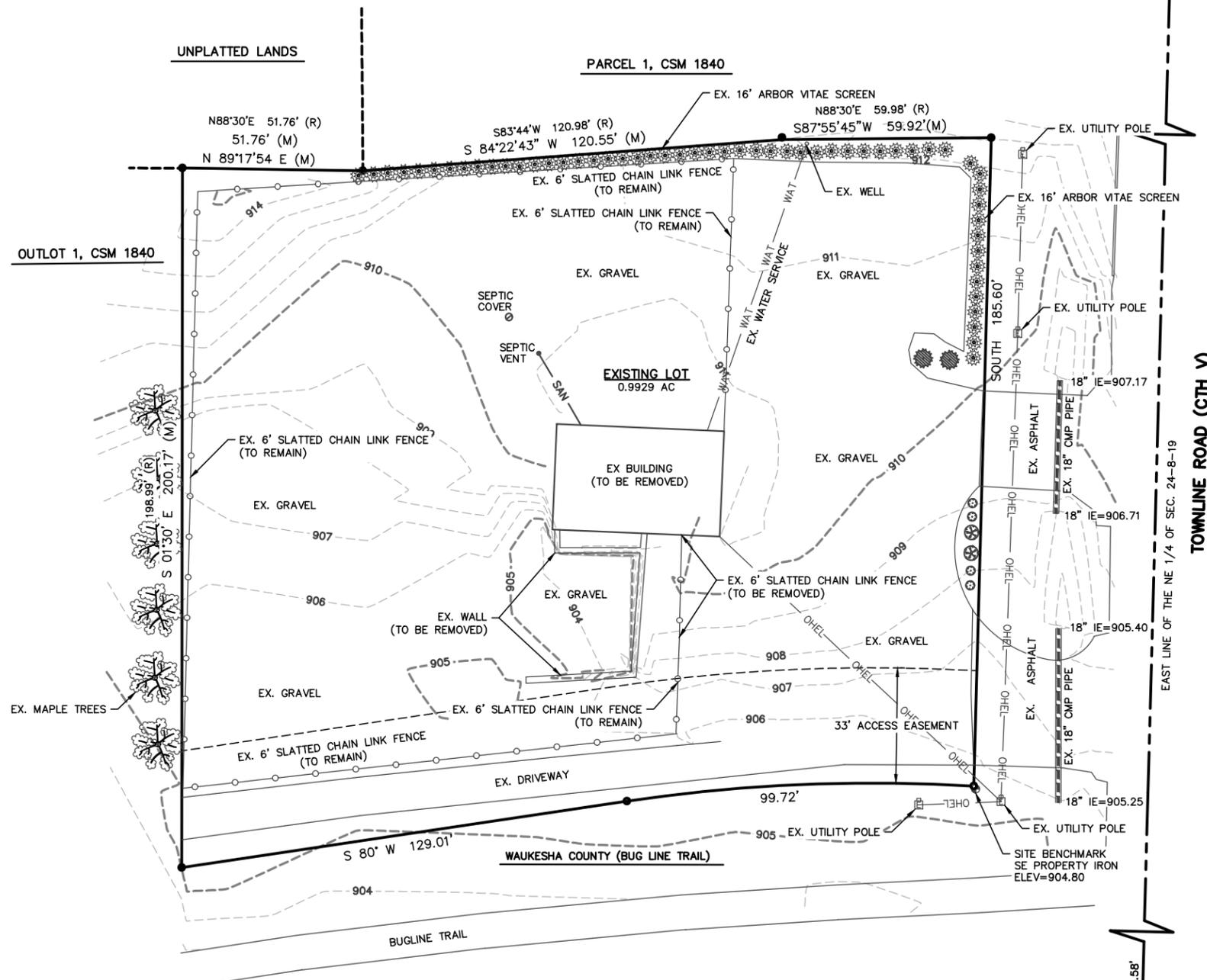
W220 N7071 TOWNLINE ROAD, TOWN OF LISBON
 CONSTRUCTION NOTES
 DATED: APRIL 14, 2020

C-101

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

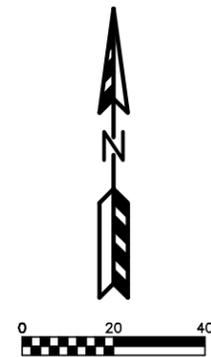


122 Wisconsin Street; West Bend, Wisconsin 53095
 Phone (262) 346-7800; www.quamengineering.com



CURVE DATA

ARC LEN. = 99.72'
 CH. LEN. = 99.54'
 CH. BRG. = S 85°58' W
 RADIUS = 478.77'
 CEN. ANG. = 11°56'



LEGEND:

- 896--- EXISTING MINOR CONTOUR.
- 895--- EXISTING MAJOR CONTOUR.
- OHEL— OVERHEAD ELECTRIC LINE.
- BuEl— BURIED ELECTRIC LINE.
- BuTel— BURIED TELEPHONE LINE.
- FO— FIBER OPTIC LINE.
- GAS— GAS LINE.
- SAN— SANITARY SEWER MAIN OR LATERAL.
- WAT— WATER MAIN OR SERVICE.
- ===== STORM SEWER LINE.
- [ELEC] - ELECTRIC METER.
- [GAS] - GAS METER.
- [G] - GAS VALVE.
- [F] - FIRE HYDRANT.
- [P] - POWER POLE.
- [SN] - SANITARY SEWER MANHOLE.
- [ST] - STORM SEWER MANHOLE.
- [] - STORM SEWER INLET.
- [T] - TELEPHONE PEDESTAL.
- [TRAN] - TRANSFORMER.
- [W] - WATER VALVE.

TOWNLINER ROAD (Cth V)
EAST LINE OF THE NE 1/4 OF SEC. 24-8-19

THE EAST 1/4 COR. OF SEC. 24-8-19

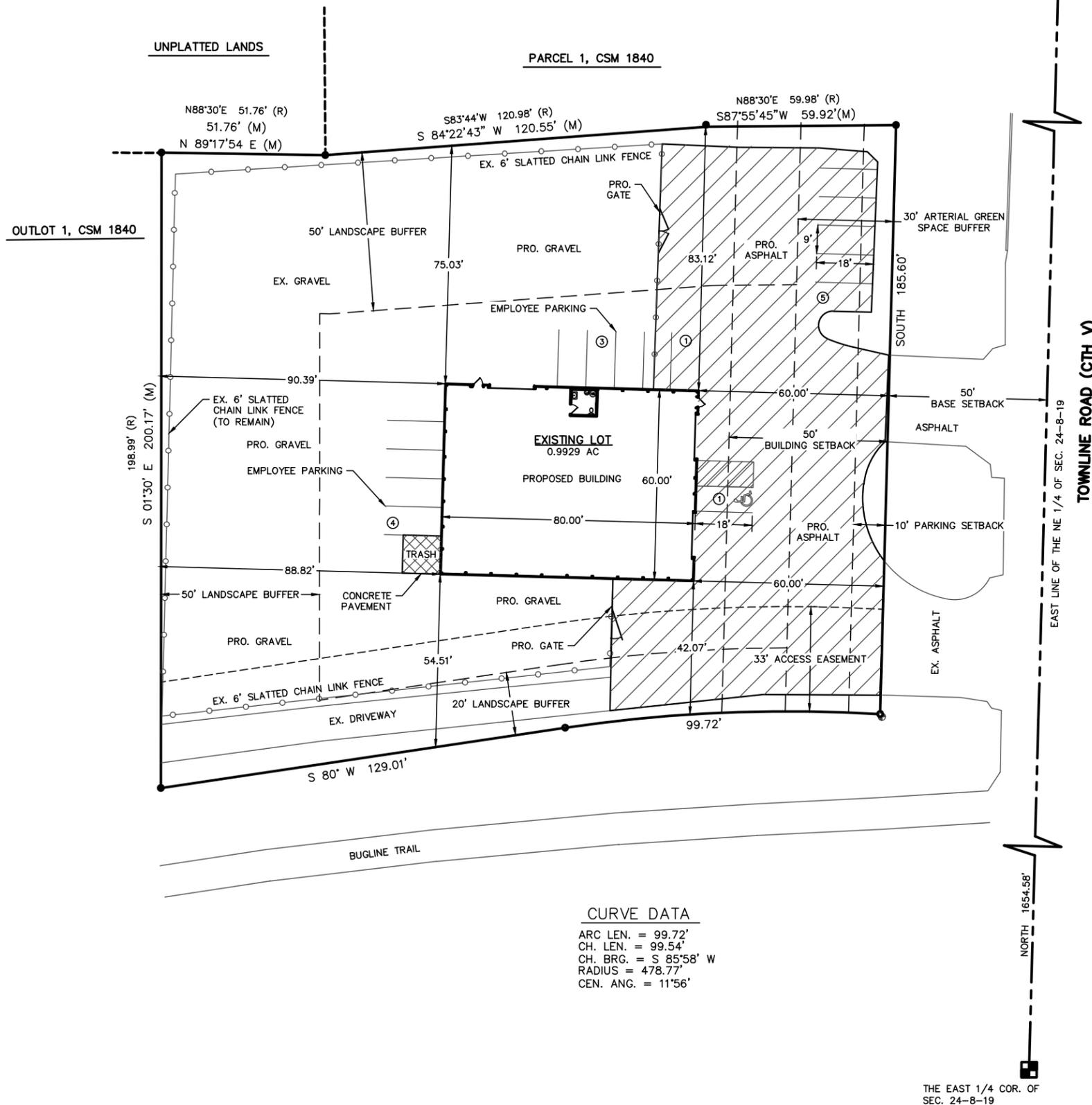
W220 N7071 TOWNLINER ROAD, TOWN OF LISBON
 EXISTING CONDITIONS PLAN
 DATED: APRIL 14, 2020

C-102

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 Residential and Commercial Site Design Consultants

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047

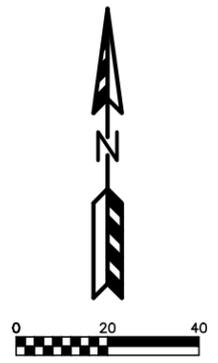


THE NORTHEAST 1/4 COR. OF SEC. 24-8-19

EAST LINE OF THE NE 1/4 OF SEC. 24-8-19

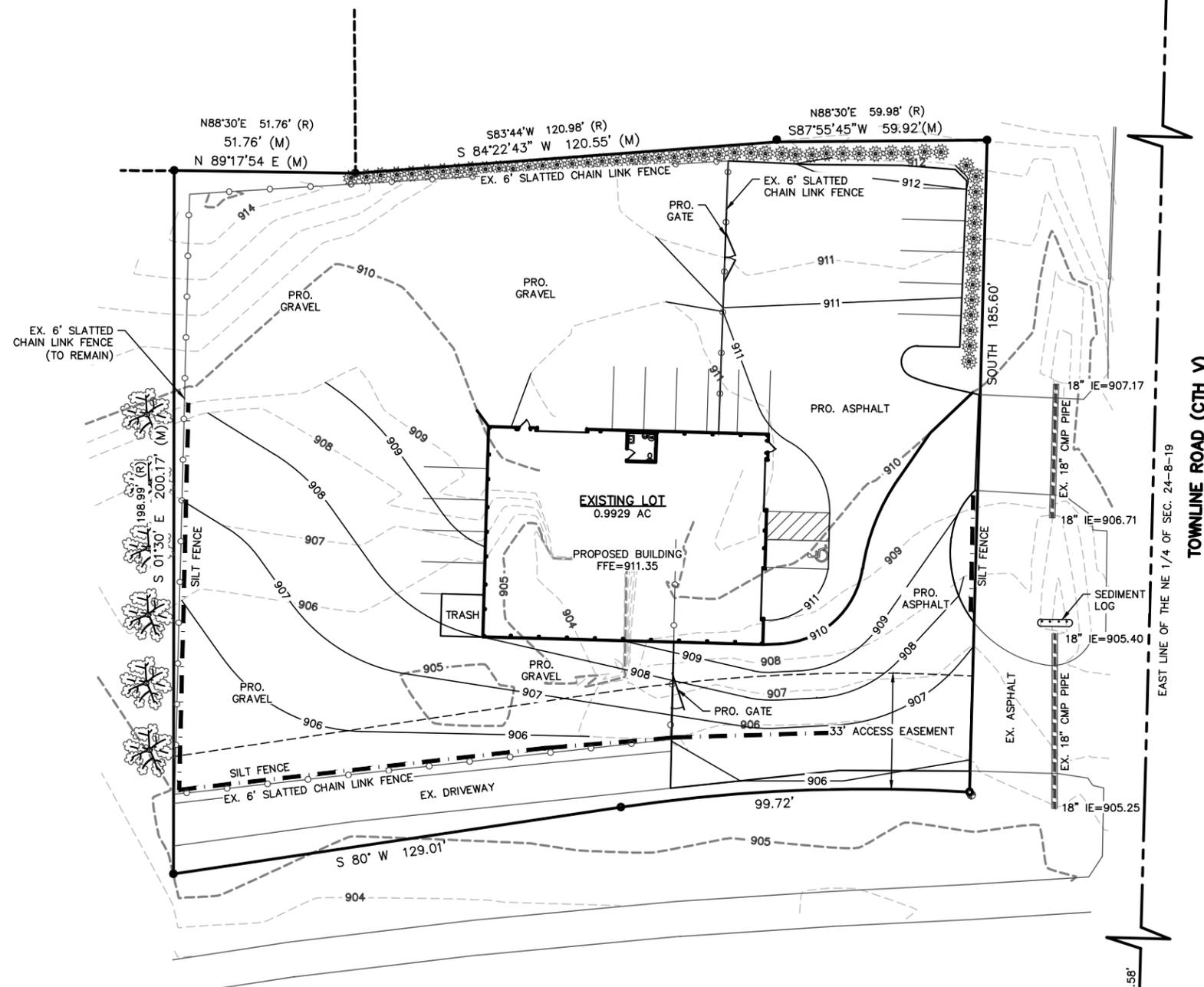
NORTH 1654.58'

THE EAST 1/4 COR. OF SEC. 24-8-19



W220 N7071 TOWNLIN ROAD, TOWN OF LISBON
 PROPOSED SITE PLAN
 DATED: APRIL 10, 2020

C-103



CURVE DATA

ARC LEN. = 99.72'
 CH. LEN. = 99.54'
 CH. BRG. = S 85°58' W
 RADIUS = 478.77'
 CEN. ANG. = 11°56'

THE EAST 1/4 COR. OF SEC. 24-8-19

TIME SCHEDULE:

- JUNE 15, 2020.**
INSTALL SITE SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCES AS SHOWN ON PLANS. ANY ADDITIONAL CONSTRUCTION ENTRANCES IF APPROVED BY THE TOWN OF LISBON SHALL HAVE A TRACKING PAD.
- JUNE 16, 2020 - APRIL 1, 2021.**
STRIP TOPSOIL AND CONSTRUCT TEMPORARY TOPSOIL STOCKPILE LOCATION ACCORDING TO "SPECIFICATIONS FOR GRADING & EROSION CONTROL" ON "CONSTRUCTION NOTES PAGE".
BEGIN PROPOSED SITE GRADING INCLUDING BUILDING PAD PREPARATION.
START CONSTRUCTION OF UTILITIES: CONNECT TO EXISTING WATER SERVICE AND SANITARY SEWER LINES.
CONTINUE SITE GRADING.
INSTALL BASE COURSES AND PROPOSED PAVEMENTS.
- APRIL 2 - 15, 2021.**
ALL PERMANENT SEEDING SHALL BE COMPLETED BY SEPTEMBER 15. ALL TEMPORARY SEEDING SHALL BE COMPLETED BY OCTOBER 15 (REFER TO DNR STANDARD 1059.)
STABILIZATION FOR ALL EXPOSED SOIL AFTER OCTOBER 15 SHALL CONSIST OF ANIONIC POLYACRYLAMIDE (PAM) IN ADDITION TO TEMPORARY SEEDING IN AREAS WITHOUT EROSION CONTROL MAT. PLACE PAM IN ACCORDANCE WITH MNR TECHNICAL STANDARD 1050. AFTER OCTOBER 15 ALL SLOPES 4:1 OR STEEPER THAT ARE NOT PERMANENTLY VEGETATED SHALL HAVE EROSION MAT INSTALLED IN PREPARATION OF WINTER CONDITIONS.
SPREAD SALVAGED OR IMPORTED TOPSOIL IN PROPOSED LANDSCAPE AREAS AND RESTORE.
CONTRACTOR MAY MODIFY SEQUENCING AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS SET FORTH IN FEDERAL, STATE & LOCAL PERMITS. NOTIFY TOWN OF LISBON PRIOR TO CHANGE.
AS CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMPs SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE.
REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER SITE IS STABILIZED AND STABILIZE AND AREAS DISTURBED BY REMOVAL OF BMPs.

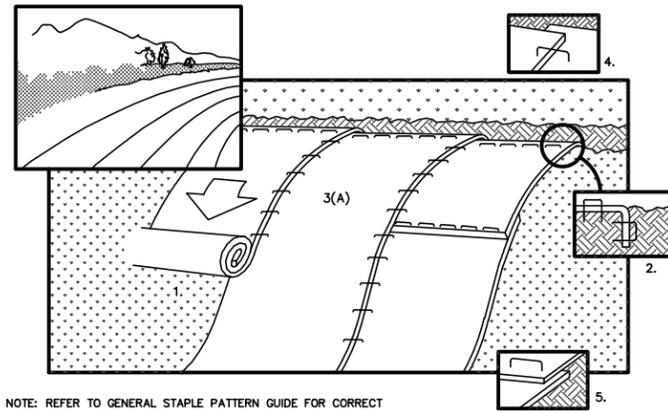
W220 N7071 TOWNLINE ROAD, TOWN OF LISBON
 EROSION CONTROL PLAN
 DATED: APRIL 14, 2020

C-104



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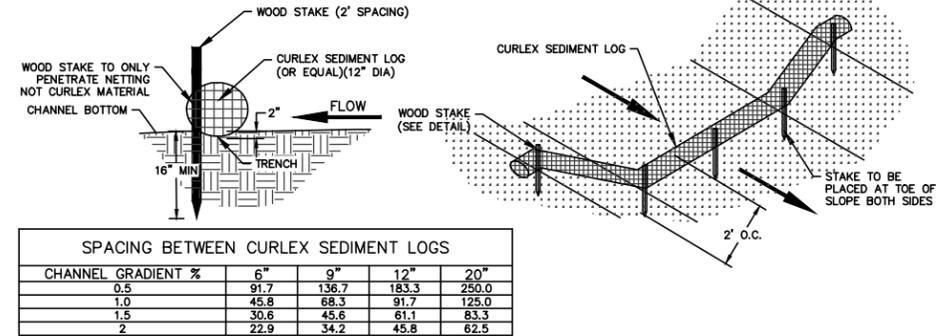
MAXIMUM PERIOD OF BARE SOIL FOR SLOPES > 20%		
SLOPE AREA DRAINS TO SEDIMENT BASIN OR SEDIMENT TRAP?	MAXIMUM PERIOD OF BARE SOIL EXPOSURE (CALENDAR DAYS)	
	LAND DISTURBANCE BETWEEN SEPTEMBER 16TH AND MAY 1ST	LAND DISTURBANCE BETWEEN MAY 2ND AND SEPTEMBER 15TH
YES	90	90
NO	60	30



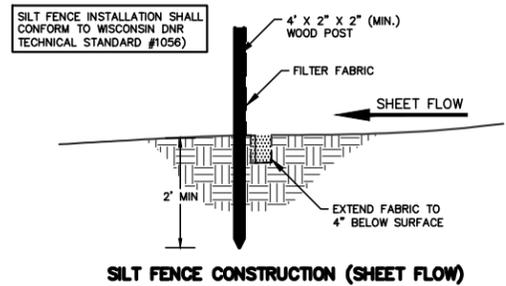
NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

EROSION CONTROL MAT - SLOPE INSTALLATION



SEDIMENT LOG DETAIL



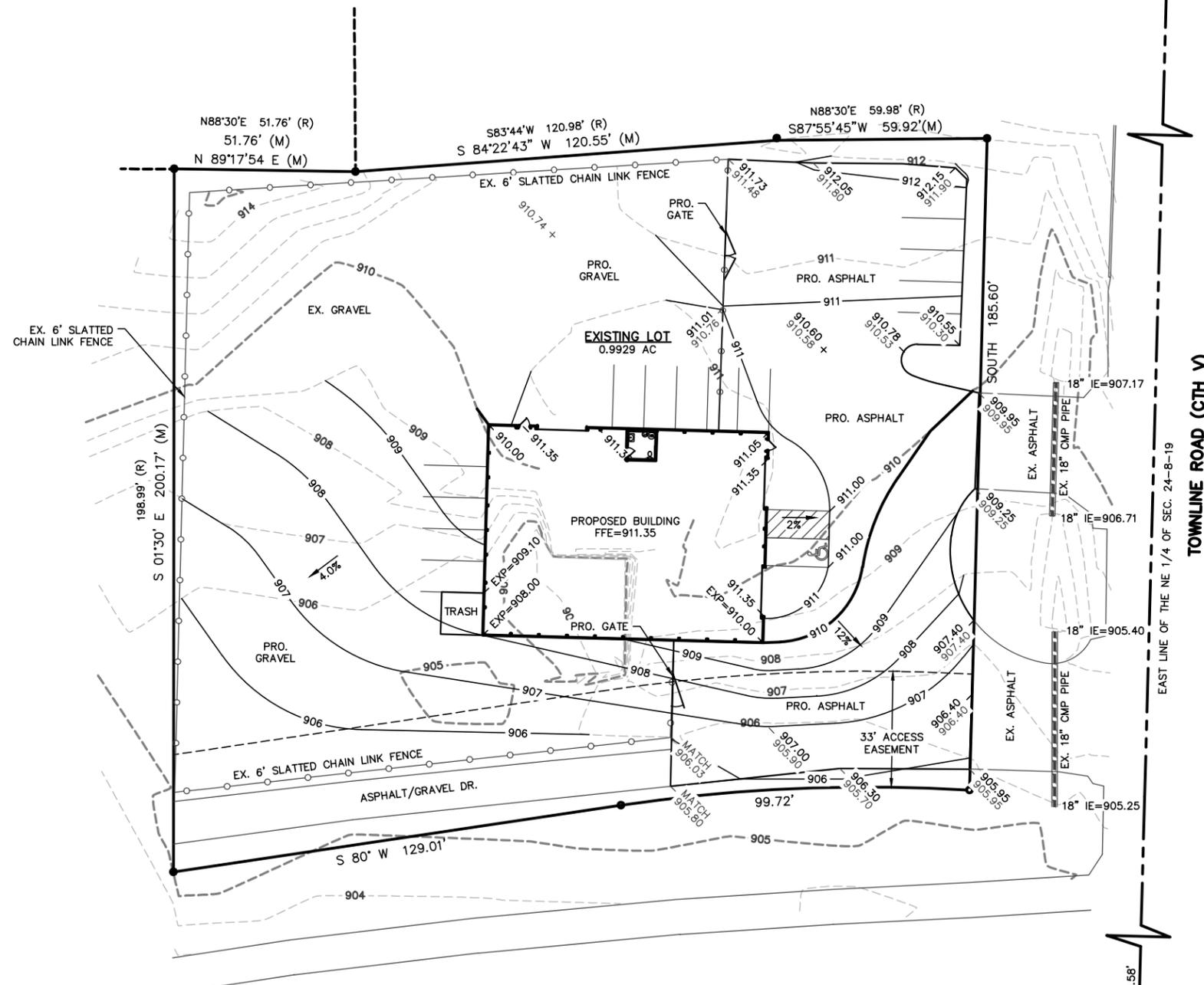
SILT FENCE CONSTRUCTION (SHEET FLOW)

W220 N7071 TOWNLIN ROAD, TOWN OF LISBON
 EROSION CONTROL DETAILS
 DATED: APRIL 14, 2020

C-105

050

THE NORTHEAST 1/4 COR. OF SEC. 24-8-19



CURVE DATA

ARC LEN. = 99.72'
 CH. LEN. = 99.54'
 CH. BRG. = S 85°58' W
 RADIUS = 478.77'
 CEN. ANG. = 11°56'



LEGEND:

- 936 --- EXISTING MINOR CONTOUR.
- 935 --- EXISTING MAJOR CONTOUR.
- 936 — PROPOSED MINOR CONTOUR.
- 935 — PROPOSED MAJOR CONTOUR.
- 934.23 - EXISTING SPOT ELEVATION.
- 934.23 - PROPOSED SPOT ELEVATION.
- ===== EXISTING STORM SEWER.

TOWNLINER ROAD (CTH V)

EAST LINE OF THE NE 1/4 OF SEC. 24-8-19

NORTH 1654.58'

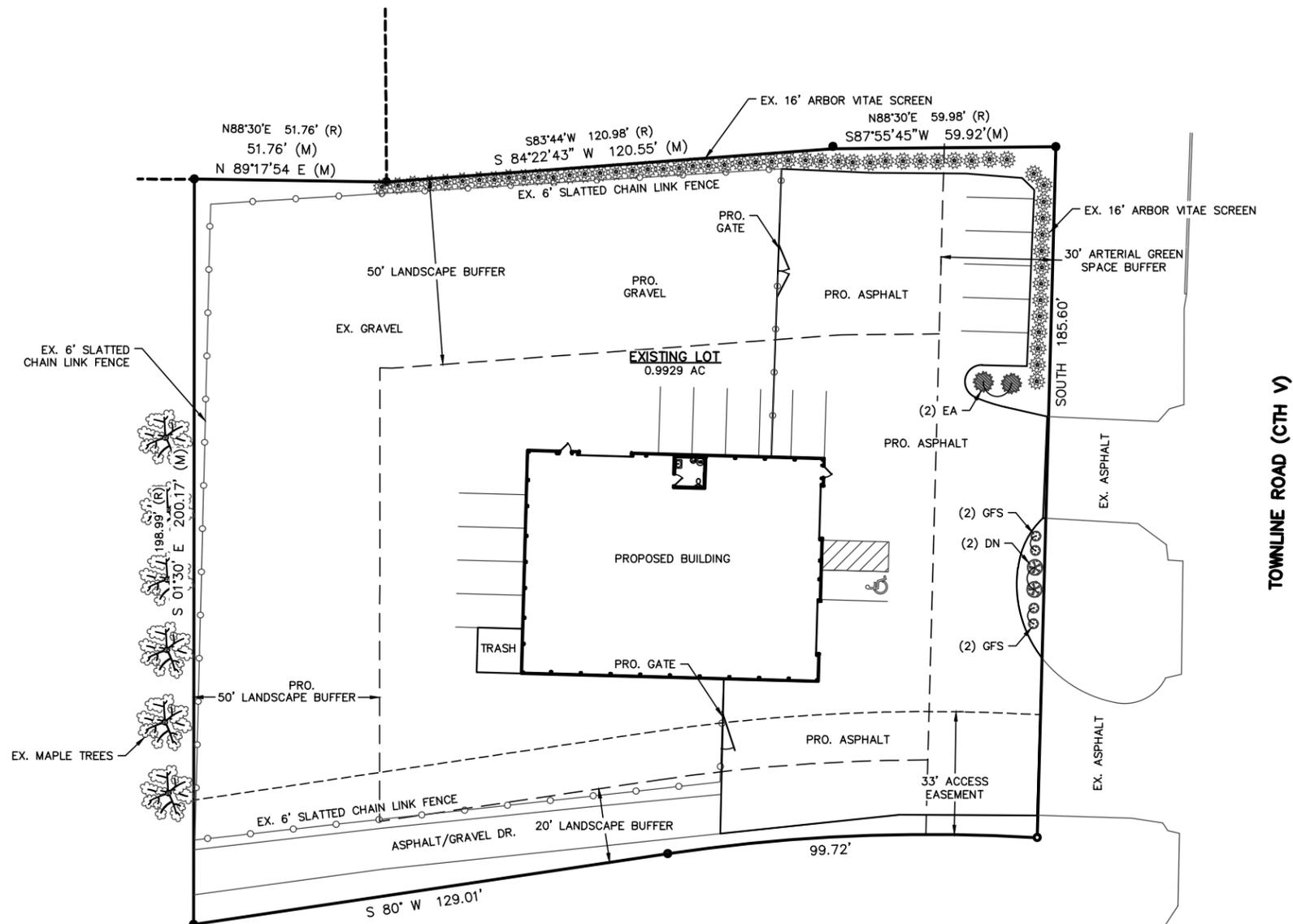
THE EAST 1/4 COR. OF SEC. 24-8-19

W220 N7071 TOWNLINER ROAD, TOWN OF LISBON
 GRADING PLAN
 DATED: APRIL 14, 2020

C-106

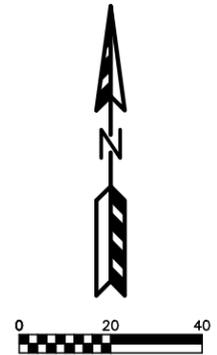


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 Phone (262) 346-7800; www.quamengineering.com



CURVE DATA

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 RADIUS = 478.77'
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PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	ROOT
DN	8		DECIDUOUS SHRUBS	
GFS	3	24"	DIABLO NINEBARK	POT
	3	24"	GOLD FLAME SPIREA	POT
	17		UPRIGHT EVERGREEN SHRUBS	
EA	17	4'	EMERALD ARBORVITAE	BB

NOTES:

- Designated lawn areas to receive a minimum of 6" of topsoil, premium bluegrass seed mix, starter fertilizer, and straw or straw mat mulch.
- Foundation planting beds and designated planting beds to be mulched with shredded hardwood bark mulch spread to a depth of 3".
- Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".
- Designated planting beds to be separated from lawn areas with 5" black vinyl edging.
- Owner will be responsible for landscape maintenance after completion and acceptance of the project.

W220 N7071 TOWNLINER ROAD, TOWN OF LISBON
 LANDSCAPE PLAN
 DATED: APRIL 14, 2020

C-107



122 Wisconsin Street; West Bend, Wisconsin 53095
 Phone (262) 346-7800; www.quamengineering.com

DOOR & WINDOW SCHEDULE

TAG	TYPE	QUANTITY
①	14'X14' OHD	3
②	3'x6'-8" WALKDOOR	2



Walters Buildings

Jack Walters & Sons, Corp.
P.O. Box 388
6600 Midland Ct.
Allenton, WI 53002
1-800-558-7800
www.waltersbuildings.com

I HAVE REVIEWED THE PRELIMINARY DRAWINGS.

CUSTOMER SIGNATURE: _____ DATE: _____

I UNDERSTAND THAT CHANGES MAY BE NECESSARY PER CODE OR STRUCTURAL REQUIREMENTS
ALL DRAWINGS ARE INTELLECTUAL PROPERTY OF WALTERS BUILDINGS UNTIL SOLD

REVISIONS

OWNER:
JOHN SMAGLIK

PROJECT:
60'x80' BUILDING

LOCATION:
ADDRESS
LOCATION

SALES REP / DEALER:
MARSHAL WISTH

DRAWN BY:
STEVEN H.

ESTIMATED BY:

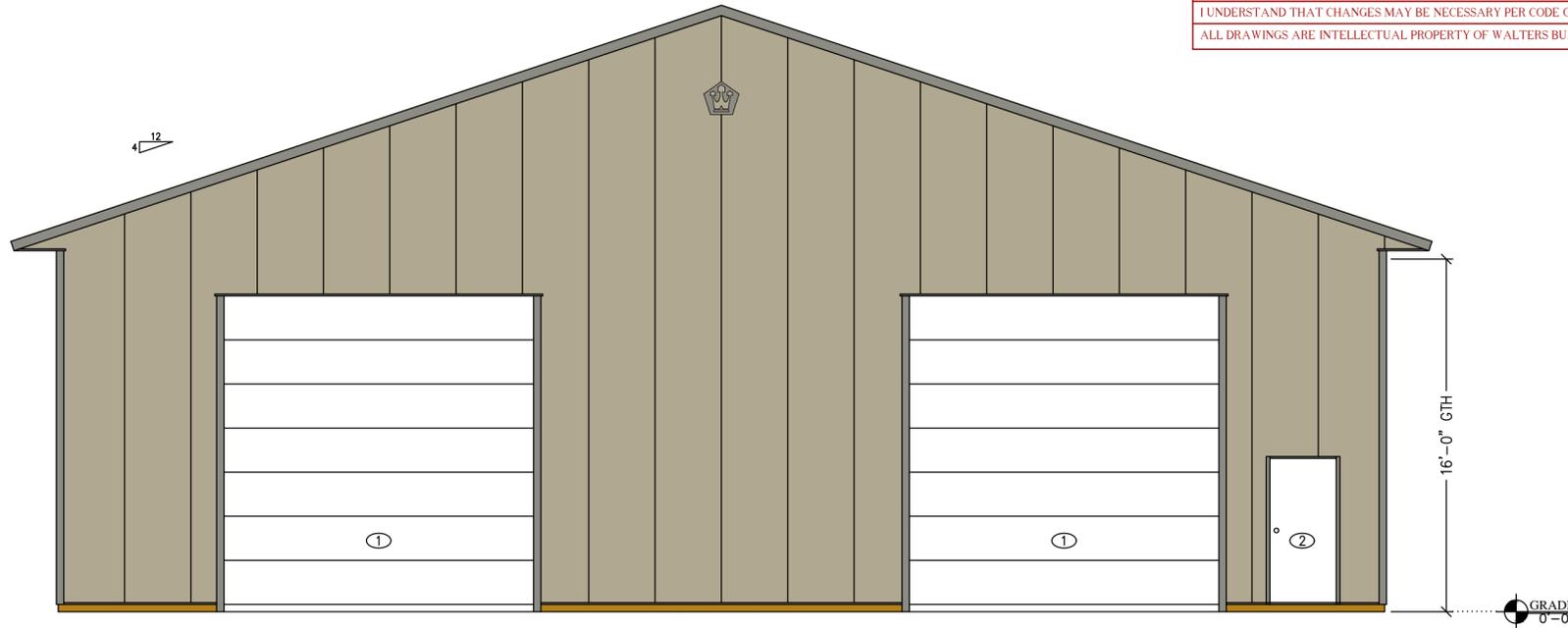
LAST SAVED BY:
ASTEINMAN ON: 4/14/2020

SCALE:
3/16" = 1'-0"

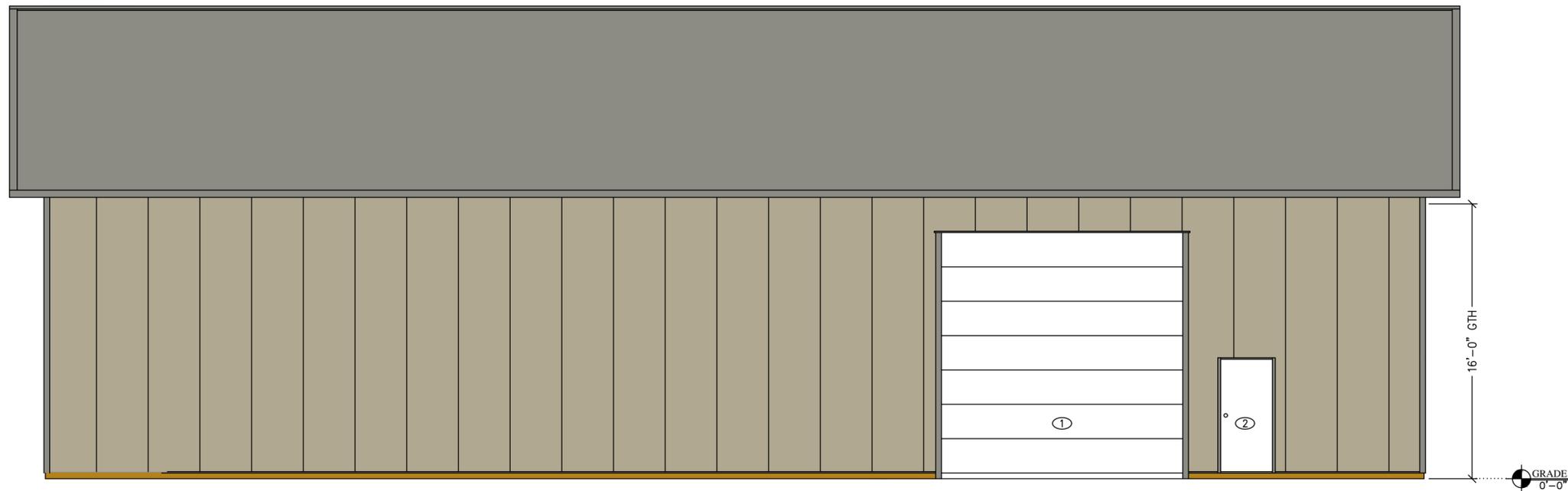
JOB NUMBER:
P95-1524

SHEET NUMBER:

A2



1 LEFT END ELEVATION
A2 SCALE: 3/16" = 1'-0"



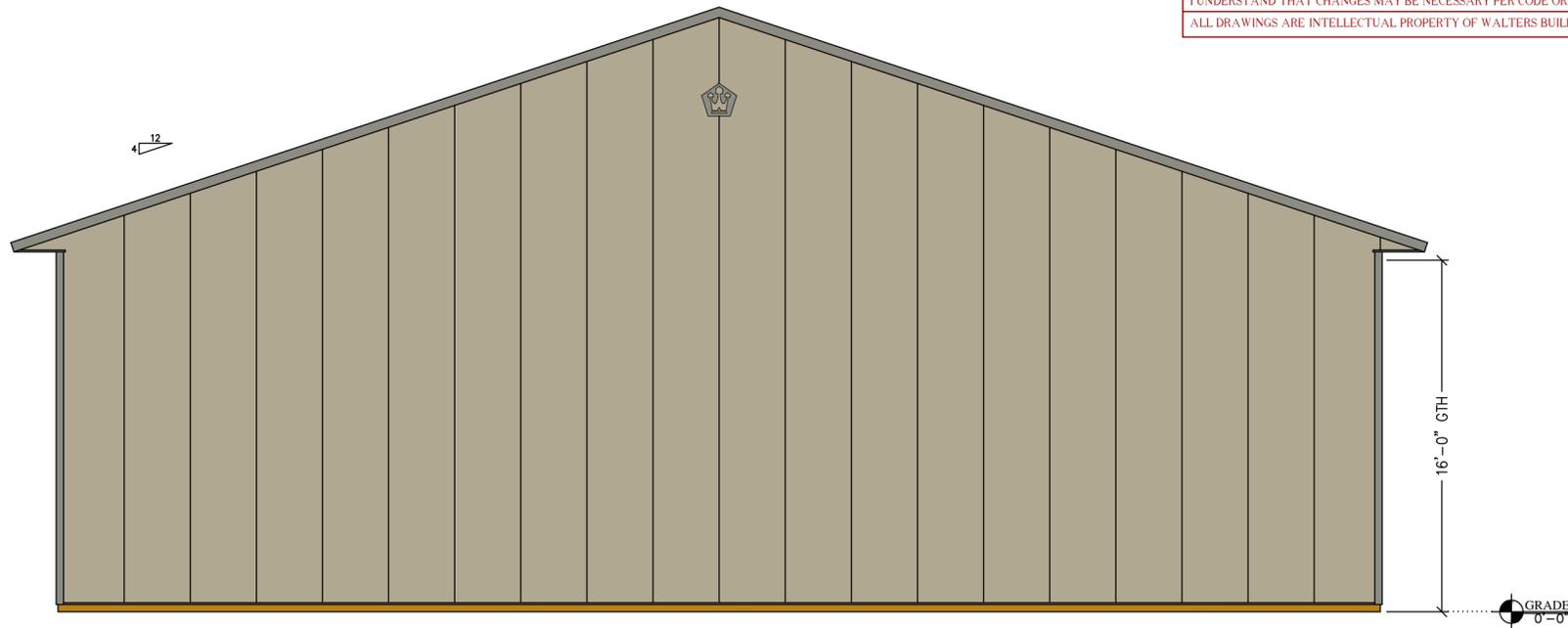
2 FRONT SIDE ELEVATION
A2 SCALE: 3/16" = 1'-0"

I HAVE REVIEWED THE PRELIMINARY DRAWINGS.
 CUSTOMER SIGNATURE: _____ DATE: _____
 I UNDERSTAND THAT CHANGES MAY BE NECESSARY PER CODE OR STRUCTURAL REQUIREMENTS.
 ALL DRAWINGS ARE INTELLECTUAL PROPERTY OF WALTERS BUILDINGS UNTIL SOLD.

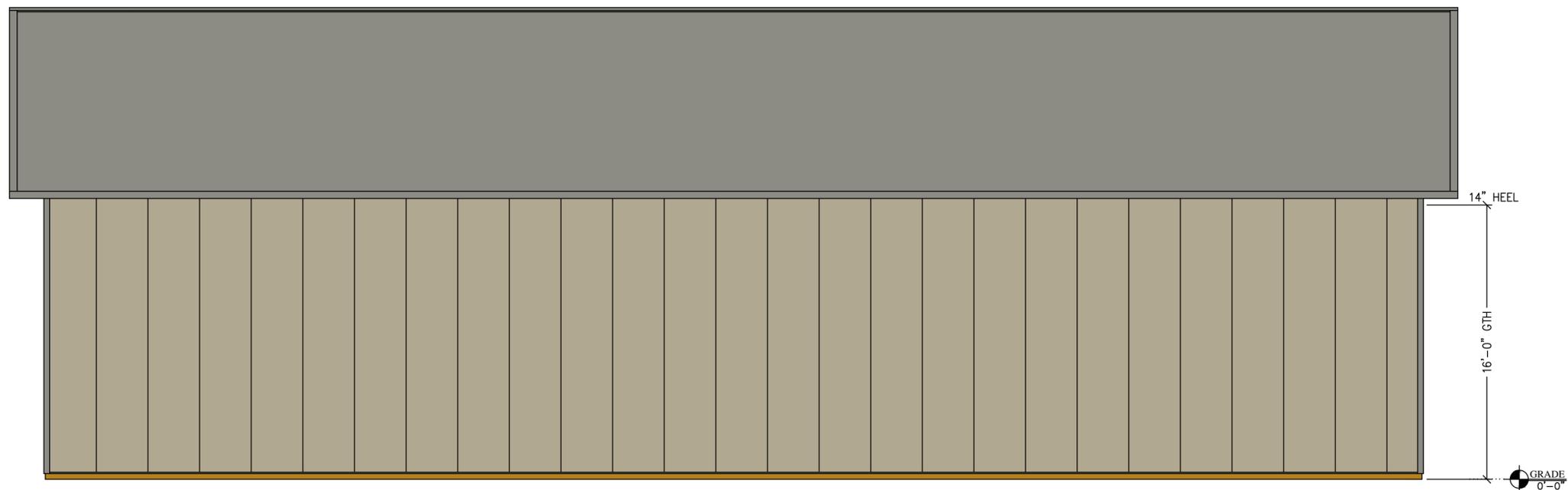
DOOR & WINDOW SCHEDULE		
TAG	TYPE	QUANTITY
①	14'X14' OHD	3
②	3'x6'-8" WALKDOOR	2



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① **RIGHT END ELEVATION**
 A2.1 SCALE: 3/16" = 1'-0"



② **BACK SIDE ELEVATION**
 A2.1 SCALE: 3/16" = 1'-0"

REVISIONS

OWNER:
JOHN SMAGLIK

PROJECT:
60'x80' BUILDING

LOCATION:
ADDRESS
LOCATION

SALES REP / DEALER:
MARSHAL WISTH

DRAWN BY:
STEVEN H.

ESTIMATED BY:

LAST SAVED BY:
ASTEINMAN ON: 4/14/2020

SCALE:

 3/16" = 1'-0"

JOB NUMBER:
P95-1524

SHEET NUMBER:

A2.1

DOOR & WINDOW SCHEDULE

TAG	TYPE	QUANTITY
①	14'X14' OHD	3
②	3'x6'-8" WALKDOOR	2



Walters Buildings

Jack Walters & Sons, Corp.
P.O. Box 388
6600 Midland Ct.
Allenton, WI 53002
1-800-558-7800
www.waltersbuildings.com

I HAVE REVIEWED THE PRELIMINARY DRAWINGS.

CUSTOMER SIGNATURE: _____ DATE: _____

I UNDERSTAND THAT CHANGES MAY BE NECESSARY PER CODE OR STRUCTURAL REQUIREMENTS

ALL DRAWINGS ARE INTELLECTUAL PROPERTY OF WALTERS BUILDINGS UNTIL SOLD

REVISIONS

OWNER:
JOHN SMAGLIK

PROJECT:
60'x80' BUILDING

LOCATION:
ADDRESS
LOCATION

SALES REP / DEALER:
MARSHAL WISTH

DRAWN BY:
STEVEN H.

ESTIMATED BY:

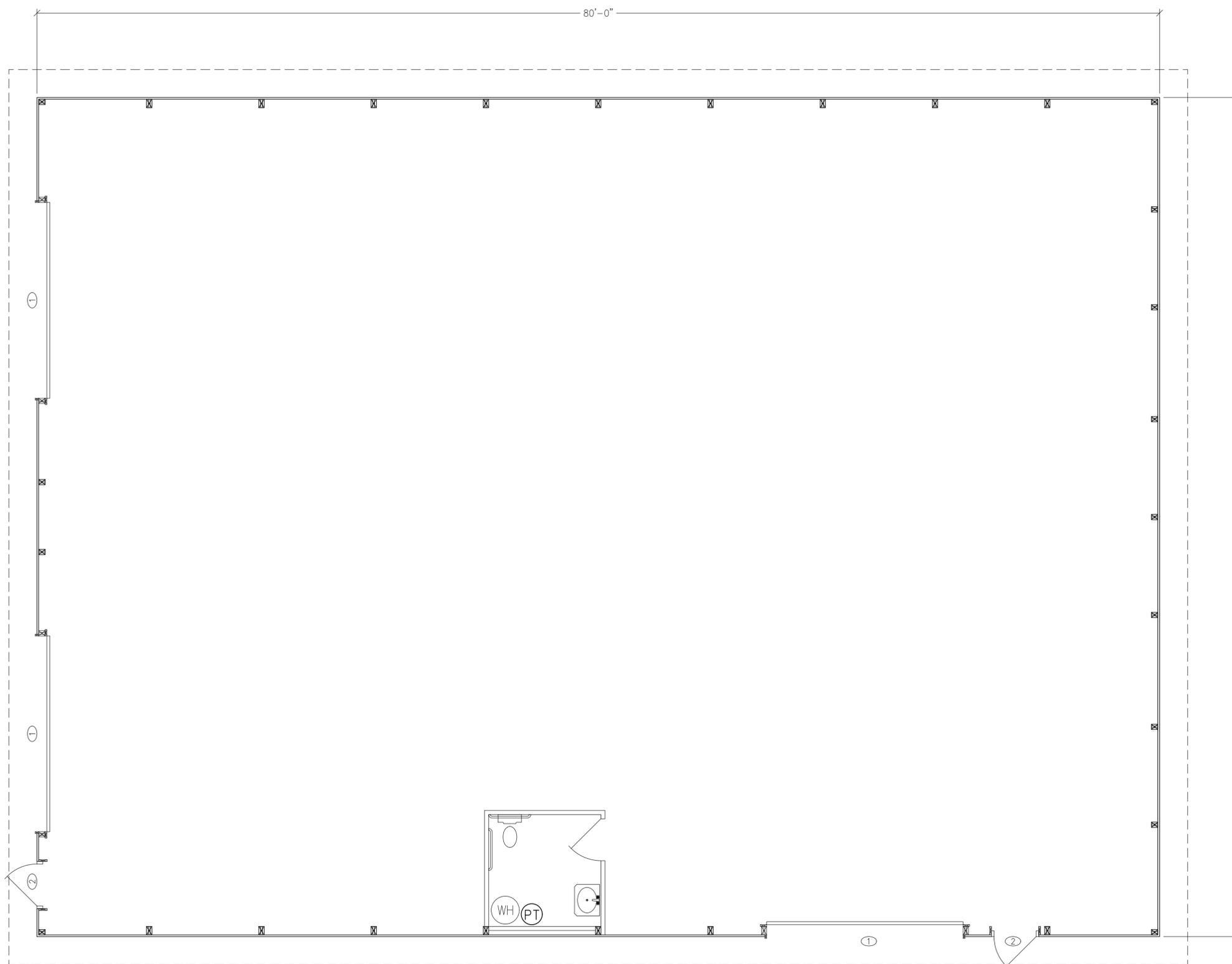
LAST SAVED BY:
ASTEINMAN ON: 4/14/2020

SCALE:
3/16" = 1'-0"

JOB NUMBER:
P95-1524

SHEET NUMBER:

A3



1 FRAMING PLAN
A3 SCALE: 3/16" = 1'-0"

2' PERIMETER OVERHANG



REQUEST FOR CONSIDERATION

COMMITTEE CONSIDERATION: Town Board

ITEM DESCRIPTION: Discussion and necessary action to purchase a new skid steer at a cost not to exceed \$40,000.

PREPARED BY: Joe DeStefano Jr.

REPORT DATE: 5-19-2020

RECOMMENDATION: To purchase the John Deere 324G for \$37,000 From Brooks Tractor with add-ons totaling \$2,900 for a Total of \$39,900

EXPLANATION:

During the 2020 budget workshops in 2019, we discussed a plan to sell an old track loader, staged out at the Lisbon Community Park and move the DPW's current JCB skid steer out to the Park's Department. That has since happened. The Park can utilize a skid steer and also use it for the tasks that the track loader was performing. The track loader had worn out tracks, the reason for selling. We sold the track loader for \$15,000. I reached out to vendors in 2019 on getting an estimate on what a winter leased skid steer would run. They came back with numbers around \$40,000. That would be a machine that was ran for one winter and then turned back in. Generally they would have less than 100 hours. When I started looking into machines this year. We were able to get some great pricing on brand new machines with our municipal and Sourcewell discounts. I reached out to three vendors:

Machine Quotes

Brooks Tractor

2020 324G Skid Steer.....\$37,000

Bobcat Plus

2020 S76 Skid Steer.....\$41,018

Miller Bradford Risberg

2020 SV280 Skid Steer.....\$43,775

Add-ons

Strobe Light Package Installed by the DPW.....\$1,500

Pallet Forks.....\$1,400

Grand Total – Machine plus Add-ons.....\$39,900

Next Page →

The John Deere and Bobcat have Hi-Flow hydraulics built into the machine, the Case would need that unit added on. Reflected in the quotes that are attached. We need Hi-Flow Hydraulics to run certain attachments that we use at the DPW. All machines come with a 24 month / 2000 hour warranty.

I recommend purchasing the John Deere 324G Skid Steer from Brooks Tractor with the add-ons for a grand total of \$39,900.

Respectfully submitted,

Joe DeStefano Jr.

Joe DeStefano Jr.

Joe DeStefano Jr.

From: John Haen <jhaen@miller-bradford.com> on behalf of John Haen
Sent: Monday, May 4, 2020 7:55 PM
To: Lisbon - Joe Destefano
Subject: Case SV280

Hey Joe-

Here is the pricing for the SV280 that you guys are demoing. Just like we spoke, you can add any options that you could get at the factory to a current machine.

New Case SV280 Skid Loader
Cab with Heat & A/C
Air-Ride Heated seat
2-Speed
EH Pilot Controls with Pattern Selector
Block Heater
Aux. Hydraulics
Aux. Front Electric
Ride Control
Self-Level
Front & Side Lights
12x16.5 Tires
Hydraulic Quick Coupler
78" Bkt with Bolt on Cutting Edge
Price - \$39,800

Hi-Flow Aux. Hydraulic Add-on - \$3,975 **Total purchase price of \$43,775.00**

Let me know if I can help with anything else.

Thanks

John Haen
Territory Manager
262-825-6782

Performance You Can Count On!

Quote Summary

Prepared For:

TOWN OF LISBON
 Joe Destefano, Jr.
 N72w24948 Good Hope Rd
 Lisbon, WI 53089
 Business: 262-246-3416
 jdestefano@townoflisbonwi.com

Prepared By:

TAYLOR LUTZKE
 Brooks Tractor Incorporated
 12101 West Silver Spring Drive
 Milwaukee, WI 53225
 Phone: 414-462-9790
 tlutzke@brookstractor.com

BROOKS MACHINE HEALTH MONITORING SERVICE-
 For all models equipped with an active JDLink system,
 Brooks and John Deere monitor your machine
 continuously for the term of basic/extended warranty.

Quote Id: 21733583
Created On: 28 April 2020
Last Modified On: 20 May 2020
Expiration Date: 30 June 2020

Equipment Summary	Selling Price	Qty	Extended
2020 JOHN DEERE 324G SKID STEER - 1T0324GMCLJ382456 Full Machine Warranty 24 Months / 2000 Hours	\$ 37,000.00 X	1 =	\$ 37,000.00

Equipment Total **\$ 37,000.00**

Quote Summary

Equipment Total	\$ 37,000.00
SubTotal	\$ 37,000.00
Total	\$ 37,000.00
Balance Due	\$ 37,000.00

Salesperson : X _____

Accepted By : X _____

Selling Equipment

Quote Id: 21733583

Customer: TOWN OF LISBON

2020 JOHN DEERE 324G SKID STEER - 1T0324GMCLJ382456

Hours: 2
Stock Number: S421706

Code	Description	Qty
00C0T	John Deere 324G Skid Steer Loader	1
Standard Options - Per Unit		
170C	JDLink 4G Ultimate with 5 Years Service	1
0953	ISO Switchable Controls & JS Performace Package	1
1050	Two Speed	1
1301	Yanmar Engine - Turbocharged FT4	1
1501	English Operators Manual & Decals	1
2070	12X16.5 10PR TITAN HD2000-II Tires	1
3005	High Flow Hydraulics	1
4003	3" Seat Belt with Shoulder Strap	1
5001	Power Quik-Tatch	1
5204	Cab with Heat, Defrost & Air Conditioning	1
5550	Deluxe Lighting Package	1
6006	Air Ride Seat (Cloth with Heat)	1
6501	Reversing Fan Drive	1
8042	Rear View Camera	1
8050	Cold Start Package 110V	1
8342	Radio AM/FM with Bluetooth	1
8380	Footrest with Floormat	1
8395	Keyless Start Sealed Switch Module	1
	Self Leveling and Ride Control	1
Dealer Attachments		
	JD 78" Construction Bucket with Bolt on Cutting Edge	1
Service Agreements		
	Full Machine Warranty 24 Months / 2000 Hours	



REQUEST FOR CONSIDERATION

COMMITTEE CONSIDERATION: Town Board
ITEM DESCRIPTION: Discussion and necessary action to apply epoxy polymer overlay by Fahrner Asphalt Sealers, on the Plainview Road bridge over the Bark River.
PREPARED BY: Joe DeStefano Jr.
REPORT DATE: 5-20-2020
RECOMMENDATION: To have Fahrner Asphalt Sealers apply the epoxy polymer overlay to the concrete surface of the Plainview Road – Bark River bridge for a not to exceed price of \$19,890.00
<p>EXPLANATION:</p> <p>I would like to have the epoxy coating applied to the bridge deck to preserve its current shape. The bridge is in excellent condition and if we apply this treatment, it will continue to stay that way for years to come. This would be the same concept as sealing your asphalt driveway to preserve it and extend its life cycle. This process would last roughly 10 to 15 years and at that point we could re-apply and continue the cycle. This was bid out in conjunction with two bridges in the Town of Merton, they have already committed to Fahrner. We were able to get a fair price by working in conjunction with our neighboring community. Fahrner is the only local company that is applying a treatment like this. I feel this would be a very beneficial preventative maintenance item to extend the life of the concrete bridge deck.</p> <p>Fahrner Asphalt Sealers Waunakee, WI Epoxy Polymer Overlay.....\$19,890.00</p> <p>Respectfully submitted, <i>Joe DeStefano Jr.</i> Joe DeStefano Jr.</p>

PROPOSAL / CONTRACT

Job. No. _____

Date: April 29, 2020

PLOVER, WI 54467
2800 Mecca Drive
Ph.: 715.341.2868
Fax: 715.341.1054

WAUNAKEE, WI 53597
316 Raemisch Road
Ph.: 608.849.6466
Fax: 608.849.6470

KAUKAUNA, WI 54130
860 Eastline Road
Ph.: 920.759.1008
Fax: 920.759.1019

EAU CLAIRE, WI 54703
6615 U.S. Hwy 12 W
Ph.: 715.874.6070
Fax: 715.874.6717



FREDERIC, WI 54837
3468 115th Street
Ph.: 715.653.2535
Fax: 715.653.2553

SAGINAW, MI 48601
2224 Veterans Memorial Pkwy
Ph.: 989.752.9200
Fax: 989.752.9205

DUBUQUE, IA 52002
7680 Commerce Park
Section C
Ph.: 563.556.6231
Fax: 563.588.1240

OAKDALE, MN 55128
7500 Hudson Blvd., Ste. 305
Ph.: 651.340.6212
Fax: 651.340.6221

Contact Name: JOE DESTEFANO	Contract Price	\$19,890.00
PURCHASER: TOWN OF LISBON	TELEPHONE:	(414) 531-3422
ADDRESS: W234 N8678 WOODSIDE RD SUSSEX, WI 53089	DESCRIPTION OF PROPERTY:	2020 BRIDGE DECK POLYMER OVERLAY PROJECT PLAINVIEW RD SUSSEX, WI 53089

1. FAHRNER Asphalt Sealers, L.L.C. (CONTRACTOR) and PURCHASER agree that, CONTRACTOR shall furnish the labor and materials to complete certain construction in accordance with the following specifications:

TOWN OF LISBON - 2020 PRICING - EPOXY POLYMER OVERLAY
1 DECK - PLAINVIEW RD

POLYMER OVERLAY: TWO APPLICATION COURSE
SCARIFY BRIDGE DECK SURFACE USING BLASTER.
APPLY TWO PART EPOXY
SPRAY INJECT GRANITE, SWEEP ACCESS MATERIAL.
REPEAT, APPLY TWO PART EPOXY, SPRAY INJECT GRANITE & SWEEP ACCESS

PRICING: 2020 PRICING
1.) PLAINVIEW RD - SINGLE DECK....\$19,890.00

BRIDGE DECK CAN BE DONE IN HALVES.

*1 MOBILIZATION INCLUDED.
*INCLUDES STANDARD SIGNS FOR ROAD WORK. CUSTOMER TO PROVIDE TYPE 111 BARRICADES IF NEEDED. PROJECT IS CONTINGENT ON A SUCCESSFUL SOUNDING OF THE DECK.
*** WORK TO BE TIED WITH TOWN OF MERTON'S EXPOXY OVERLY PROJECT

This proposal may be withdrawn if not accepted and received by CONTRACTOR within 30 days of the date above and/or at any time before performance of the work hereunder upon CONTRACTOR'S determination that the PURCHASER is not creditworthy.

- If proposal is accepted please sign, retain one copy and forward a copy to our office.
- The undersigned ("PURCHASER") agrees to pay CONTRACTOR the total price of \$19,890.00 and/or the unit prices specified above for the labor and materials specified above which payment shall be due upon completion of each stage of work. PURCHASER acknowledges that the specifications, conditions and price quotes specified above are satisfactory and hereby accepted.

Acceptance of this Proposal includes acceptance of all the terms and conditions on back.

CONTRACTOR:
Fahrner Asphalt Sealers, LLC:Cell: (608) 381-7117
Joe.Bass@fahrnerasphalt.com

PURCHASER:
I have read and understand the terms and conditions on both sides of this contract.

Joe Bass

(PRINT OR TYPE NAME)

(PRINT OR TYPE NAME)

By: _____
(CONTRACTOR REPRESENTATIVE)

By: _____
(PURCHASER AUTHORIZED REPRESENTATIVE)

Date: April 29, 2020

Date of acceptance: _____

TERMS AND CONDITIONS

NOTICE OF LIEN RIGHTS

AS REQUIRED BY THE WISCONSIN CONSTRUCTION LIEN LAWS, CONTRACTOR HEREBY NOTIFIES OWNER THAT PERSONS OR COMPANIES FURNISHING LABOR OR MATERIALS FOR THE CONSTRUCTION ON OWNER'S LAND MAY HAVE LIEN RIGHTS ON OWNER'S LAND AND BUILDING IF NOT PAID. THOSE ENTITLED TO LIEN RIGHTS, IN ADDITION TO THE UNDERSIGNED CONTRACTOR, ARE THOSE WHO CONTRACT DIRECTLY WITH THE OWNER OR THOSE WHO GIVE THE OWNER NOTICE WITHIN SIXTY (60) DAYS AFTER THEY FIRST FURNISH LABOR OR MATERIALS FOR THE CONSTRUCTION. ACCORDINGLY, OWNER PROBABLY WILL RECEIVE NOTICES FROM THOSE WHO FURNISH LABOR OR MATERIALS FOR THE CONSTRUCTION, AND SHOULD GIVE A COPY OF EACH NOTICE RECEIVED TO THE MORTGAGE LENDER, IF ANY. CONTRACTOR AGREES TO COOPERATE WITH THE OWNER AND THE OWNER'S LENDER, IF ANY, TO SEE THAT ALL POTENTIAL LIEN CLAIMS ARE DULY PAID.

ACCEPTANCE OF WORK

All labor and material is conclusively accepted as satisfactory unless excepted to in writing within seven (7) days of performance.

EXTRA WORK

All alterations or deviations from any of the terms of this contract shall be in writing and executed by the parties hereto. Any extra cost involved therein will become an extra charge to be paid by PURCHASER over and above the contract price.

PURCHASER'S RESPONSIBILITIES

PURCHASER acknowledges and understands that it shall be responsible for obtaining any and all permits which may be required in connection with performance of this Proposal/Contract. Where applicable, PURCHASER shall also be responsible for backfilling areas that border along the newly paved surface with appropriate material to eliminate potential cracking and uneven surface at the edge of the paved surface and for installing, replacing, maintaining and repairing shoulders. PURCHASER assumes all liability for any damages done to underground utilities and/or structures unless CONTRACTOR has been notified, upon acceptance of this Proposal, as to the specific location and depth of any such buried utility/structures.

Unless exempt, in accepting this Proposal/Contract, PURCHASER acknowledges that it shall comply with the requirements of all applicable federal, state, and local employment laws, executive orders, codes and regulations (the "Requirements") effective where the work and/or services are being performed including, but not limited to, 41 CFR §§ 60-1.4(a)(1)-(8), 60-1.4(b), 60-1.4(c) or their successors effective where this Proposal/Contract is performed. To the extent required by law, all provisions of the Requirements are hereby incorporated into and made a part of this Agreement and any applicable agreements of CONTRACTOR. To the extent applicable, the Requirements include, but are not limited to, (1) prohibition of discrimination because of protected veteran status, disability, race, color, religion, sex, sexual orientation, gender identity, national origin and because of inquiry or discussion about or disclosure of compensation, (2) affirmative action to employ and advance in employment individuals without regard to race, sex, disability, or protected veteran status, (3) compliance with the Employee Notice clause contained in 29 C.F.R. part 471, Appendix A to Subpart A, or its successors, (4) compliance with the EEO-1 and VETS-4212 reports filing requirements in 41 C.F.R. §§ 60-1.7 and 41 C.F.R. §61-300.10, or their successors, (5) compliance with paycheck transparency obligations of 48 C.F.R. § 22.2005, including the contract clause found at 48 C.F.R. § 52.222-60, which is incorporated by reference as if fully set forth herein, (6) other affirmative action in employment, (7) required/certified payrolls, (8) social security acts, (9) unemployment compensation acts, (10) worker's compensation acts, (11) equal employment opportunity acts and (12) the required contract provisions for Federal-Aid Construction Contracts, Form FHWA-1273, if applicable.

When applicable, PURCHASER and CONTRACTOR shall abide by the requirements of 41 CFR 60-300.5(a). This regulation prohibits discrimination against qualified protected veterans, and requires affirmative action by covered prime contractors and subcontractors to employ and advance in employment qualified protected veterans. When applicable, PURCHASER and CONTRACTOR shall abide by the requirements of 41 CFR 60-741.5(a). This regulation prohibits discrimination against qualified individuals on the basis of disability, and requires affirmative action covered by prime contractors and subcontractors to employ and advance in employment qualified individuals with disabilities.

INCLEMENT WEATHER

Inclement weather may alter the completion of the work to be furnished hereunder. Furthermore, special consideration should be given if work is to be performed before May 1 or after October 15 in light of less than desirable weather conditions which could potentially impair the quality of the work performed hereunder.

WARRANTY

All material is guaranteed to be as specified and all work is to be completed in a workmanlike manner according to standard practices. All labor and materials will be guaranteed against defect for one (1) year from date of installation. Due to Wisconsin winters and expansion and contraction of the ground, some cracking of the pavement may be experienced. There are no express or implied warranties of merchantability, quality, quantity or of fitness for any particular purpose, which extend beyond those specifically set out in this document.

All warranties are void if payment is not made as stipulated.

DELINQUENCY CHARGE

Payment is due and payable upon completion of each stage of the work. If PURCHASER defaults on the payment required, PURCHASER will be liable for all costs of collection, including reasonable attorney's fees, and a delinquency charge on the balance at the maximum rates allowed by law. If PURCHASER is an organization as defined by Wis. Statutes, Section 421.301(28), the Delinquency Charge rate shall be 1.5% per month (18% APR) plus all costs of collection, including reasonable attorney's fees. CONTRACTOR retains title to all merchandise covered by this Agreement until full payment is received according to the above terms of sale. PURCHASER consents in any action or legal proceeding relating to this Contract commenced by the CONTRACTOR to the personal jurisdiction of any court that is either a court of record in the State of Wisconsin or a court of the United States located in the State of Wisconsin. It is hereby agreed that no legal action with respect to this contract may be brought by either party later than one (1) year after the cause of action accrues and that the party asserting such a legal action shall be barred from any remedy thereto.

INDIVIDUAL LIABILITY

The undersigned PURCHASER agrees to be individually liable for all terms of the Agreement, regardless of whether he or she signs individually or as an agent for the owner of the property upon which the work is being performed or for any other individual, partnership or corporation.

PRODUCT INFORMATION AND MAINTENANCE

Since the asphalt in blacktop needs time to harden and cure, usually 6-12 months, your asphalt pavement will remain soft and pliable during warm weather. During this time, don't park in the same spot every time and do not turn your steering wheel back and forth when your car is not moving. It is not unusual to experience some cracking over the winter due to the contraction and expansion of the ground, especially over culverts, pipes, electric wires, etc. Avoid gasoline and petroleum product spills as they will destroy your pavement. If spills do occur, immediately flush with lots of soapy water. If you decide to seal coat your pavement, wait until the summer following installation.

BINDING EFFECT

This Agreement shall be binding upon the parties hereto, their heirs, personal representatives, successors and assigns.

ENTIRE AGREEMENT

The entire contract is embodied in this writing. This writing constitutes the final expression of the party's agreement, and is a complete and exclusive statement of that agreement. In the event that any term of this contract is unenforceable, the remaining terms of the contract shall still be in full force and effect.