



**TOWN OF LISBON**  
W234 N8676 Woodside Rd.  
Lisbon, WI 53089

**Agenda**  
**Plan Commission Public Hearing**  
**Followed by the Regular Plan Commission Meeting**  
**Town of Lisbon Town Hall**  
**Thursday, March 12, 2020**

**1. Roll Call.**

- 2. NOTICE IS HEREBY GIVEN** that a Public Hearing will be held by the Lisbon Plan Commission on Thursday, March 12, 2020, at 6:30pm at the Lisbon Town Hall, W234N8676 Woodside Road, Lisbon, WI 53089, to solicit public comments on a Conditional Use Permit request for Gas Station / Convenience Store in the B-2 Local Business District, for Kwik Trip, for the property located at W260N9579 STH 164, Colgate, WI 53017, LSBT 0161.999.004.

**3. Adjourn Public Hearing.**

**Agenda**  
**Plan Commission Meeting**  
**Town of Lisbon, Town Hall**  
**Thursday, March 12, 2020**  
**Following Public Hearing(s) beginning at 6:30 PM**

**1. Roll Call.**

- 2. Comments from citizens present pertaining to items on the agenda.** Citizens are invited to share their questions, comments, or concerns with the Plan Commission. When speaking, citizens should state their name and address for the record and limit their presentation to three minutes. If a response would involve discussion of Plan Commission policy or decisions that might be of interest to citizens not present at the meeting, the commission may place the item on a future meeting agenda.
- 3. Discussion and necessary action on February 13, 2020 Plan Commission Public Hearing & Meeting minutes.**
- 4. Unfinished Business.**
- 5. New Business.**
- a. Discussion and necessary action on the requests for Stark Pavement Corporation, for the property located at N51W23995 Lisbon Road, LSBT 0280.992, to allow a Temporary Plan of Operation to allow night operations.
  - b. Discussion and necessary action on the request from Kwik Trip, for the property owned by Wexford Heights, LLC, property located at W260N9579 STH 164, Colgate, WI 53017, LSBT 0161.999.004, for a Conditional Use Permit for a Gas Station / Convenience Store in the B-2 Local Business District and recommendation to the Town Board of the same.

- c. Discussion and necessary action on the Annual Mobile Home Park License Renewal for American Mobile Home Communities and recommendation to the Town Board of the same.

**6. Assign Quarry Inspections.**

**7. Town Planner Report**

**8. Request from members to request items on future agendas.**

**9. Adjournment.**

Joseph Osterman  
Chairman

Jane Stadler  
Secretary

*Posted: 2020-03-06*

*Clerk: R.G.  
X Website*

*X Town Hall Bulletin Boards (2)*

*X Sent to Newspapers*

**NOTICE:** It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

**NOTE:** Please notify the Town of Lisbon 72 hours in advance if you plan to attend and will need an interpreter or assistive hearing device.

**MEMBERS:** Please notify Town Hall at 262-246-6100 if you are unable to attend the meeting.

**Minutes of the Plan Commission Meeting  
Town of Lisbon, Town Hall  
Thursday, February 13, 2020  
6:30 PM**

Chairman Osterman called the Plan Commission meeting to order at 6:36 P.M.

**Roll Call:** Present: Chairman Joseph Osterman, Supervisor Rebecca Plotecher, Plan Commission Members Chad Samanske, Mark Meyer, Jane Stadler and Bryan Oelhafen. Also present: Planner Rachel Holloway and Interim Clerk Rick Goeckner. Absent: Plan Commission Member Ed Nelson.

**Comments from citizens present pertaining to items on the agenda.** None.

**Discussion and necessary action on January 9, 2020, Plan Commission Public Hearing & Meeting minutes.**

*Motion by Commissioner Meyer to approve the January 9, 2020 Plan Commission minutes. Seconded by Commissioner Samanske. Motion carried, 6-0.*

**Unfinished Business.** None.

**New Business**

**Discussion and necessary action on the request for Ironwood Golf Course, for the property located at W270N6166 Moraine Drive, LSBT 0261.999, for a Site Plan Amendment to build a permanent food station.**

Mike Lehmann, representing the Ironwood Golf Course, addressed the Plan Commission noting the plans for a permanent area for catered events versus the current use of portable tables. There will not be any plumbing or electrical. Briefly reviewed were the design materials and colors. Questioned was the need for electrical. It was again stated that it was not needed. The Town Planner has no issues with the request.

*Motion by Commissioner Meyer to approve the request for the property located at W270N6166 Moraine Drive, LSBT 0261.999, for a Site Plan Amendment to build a permanent food station. Seconded by Commissioner Plotecher. Motion carried, 6-0.*

Commissioner Stadler questioned Mr. Lehmann if the golf course had plans for additional outdoor lightening in the parking area. They do not.

**Discussion and necessary action on the request for the Town of Lisbon, for a four-lot Certified Survey Map for the property located at N63W22039 County Road F, LSBT 0241.999, known as the Lied's Property, and recommendation to the Town Board of the same.**

Planner Holloway informed the Commission that the CSM had been completed however a new one was received today. Waukesha County is currently reviewing the M-2 zoning. The proposed remnant parcel/lot will be dealt with at a future date. The remnant parcel and length of the cul-de-sac will both need a waiver. The Town Board is able to waive ordinance standards for remnant parcels provided it makes findings that the following facts and conditions exist: exceptional circumstances, preservation of property rights and absence of detriment. Reviewed was the cul-de-sac length requirements and standards for the waiver. The Town's Attorney is working on a Developer's Agreement. The Town Attorney is recommending the waiver of the Impact Fees. The CSM is under extraterritorial review by the Village of Sussex. A sidewalk will be built per the CSM. Commissioner Meyer questioned a second access to the new development.

*Motion by Chairman Osterman to approve the request for a four-lot Certified Survey Map for the property located at N63W22039 County Road F, LSBT 0241.999, known as the Lied's Property, and recommendation to the Town*

*Board of the same contingent on the waiving of the cul-de-sac length, impact fees and remnant parcel and contingent upon the Planner's comments. Seconded by Commissioner Plotecher. Motion carried, 6-0.*

### **Town Planner Report**

We've reviewed and landscape business site plan. Hillside Ridge will be coming back with a new Preliminary Plat with a few less lots. Haass Farms will be submitting their plat in a couple of months. Also review a proposed in-law suite, and a zoning complaint that will need a Conditional Use Permit to become compliant. There has been some interest on the property on North Lisbon Road as well as others wanting to build additional and/or larger garages.

**Request from members to request items on future agendas.** None.

### **Adjournment.**

*Motion by Commissioner Meyer to adjourn the Thursday, February 13, 2020 Plan Commission Meeting at 6:59 P.M. Seconded by Commissioner Plotecher. Motion carried, 6-0.*

Respectfully submitted,

Rick J Goeckner  
Town of Lisbon Interim Clerk

## **Item 5A – Attachments**



W234 N8676 WOODSIDE RD.  
 LISBON, WI 53089-1545  
 TEL: (262) 246-6100

# Plan Commission Application

## Application Type and Fee (check all that apply)

\*Application fees are non-refundable. Fees cover costs associated with public notification, postage, copies, and document recording, however applicants agree to pay all additional expenses that the Town may incur by virtue of contracted plan review services including but not limited to: legal, surveying and engineering costs and studies.

**Commercial**  
*\*All commercial projects including any change of occupancy, change of use, or construction/alteration must be submitted to the Lisbon Fire Department as well for review and inspections.*

**Residential** – Home-Based Bus. / In-Law Unit

- Accessory Building Waiver: \$100 (Size/Location/Architectural Review)
- After the Fact Application: Double Fees
- Certified Survey Map: \$200 + \$10 Per lot
  - Dedication Fee (Per lot): \$2,658 (Paid upon receipt of signed CSM)
- Conditional Use Permit: \$350
  - Amendment / Original
  - Major Grading Permit
- Deed Restriction: \$100
- Developer's Agreement: \$250
- Groundwater Separation Waiver: \$100
- Land Use Amendment: \$300
- Conceptual: \$100
- Plat Review:
  - Final - \$200
  - Preliminary - \$500
- Re-Submittal: \$200
- Rezone: \$350
- Sign Permit Application: \$30 + Sign Fees (See Adopted Fee Schedule)
- Site Plan/Plan of Operation:
  - Amendment: \$250
  - Original: \$500
  - Temporary: \$125
- Special Meeting: \$600
- Waivers/Modification from Land Division and Development Ordinance: \$200



## Property Information

**N51 W23995 Lisbon Rd** **Lisbon** **53089**  
 Property Address City Zip

**LSBT0280992** **44.747** **Q-1**  
 Tax Key/Parcel ID # Lot Size Current Zoning

## Property Owner

Hans Dawson, Lannon Stone Products, Inc.

Name / Company Name

Signature

**N52 W23096 Lisbon Rd**

Address

**Sussex WI 53089**

City State Zip

**262-251-1520**

Phone E-mail Address

## Applicant

**Carl Johnson**

Name

**Stark Pavement Corporation, Inc.**

Company

**12845 W Burleigh Rd**

Address

**Brookfield WI 53005**

City State Zip

**414-466-7820**

Phone E-Mail Address

**A complete application** along with the appropriate fees shall be submitted by the deadline stated on the meeting schedule. In order for an application to be considered **complete**, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. If applying for a conditional use or development agreement, a document showing vested interest in the property is required. The Town of Lisbon reserves the right not to accept an application that is deemed incomplete.



March 5, 2020

Chairperson Osterman and Town Plan Commission Members  
Town of Lisbon  
W23N8676 Woodside Road  
Lisbon, WI 53089

Re: Stark Pavement Corp Inc. Temporary Plan of Operation

Dear Plan Commission Members:

The above-referenced Temporary Plan of Operation (SPPOO) was received by our office for review on behalf of the Town of Lisbon. Certain permitted uses and conditional uses require a Site Plan and Plan of Operation, which provides a detailed description of the proposed use and serves as a basis for consideration prior to approval by the Plan Commission. The purpose of such a review is to document the permit file, determine the adequacy of the data submitted to describe the uses and buildings proposed, and document the plan and method of operation so that the Town may determine compatibility with the Ordinance. A Temporary Plan of Operation is a Plan of Operation which has a time constraint and an expiration date, after which the Temporary Plan of Operation must be resubmitted, reviewed, and approved in order to continue any temporary uses. A Temporary Plan of Operation can be associated with a previously approved SPPOO.

## Background

The Stark Pavement Corporation received approval of an SPPOO Amendment designating them as new owner on June 13, 2019, for a change of ownership. A Temporary Plan of Operation was also approved on June 13, 2019, for a change of hours to extent nighttime hours and to allow for Sunday operating hours for service to US Interstate construction projects. Previously, a Temporary Plan of Operation was approved on April 2, 2018, allowing for extended hours to allow for service of a US Interstate 94 reconstruction project.

Stark submitted a Temporary Plan of Operations application on January 30, 2020, to request temporary night operations during the entire 2020 construction season (April through November), with conditions, in order to bid on asphalt paving for upcoming work US Interstate 94. The primary reason for the request is that many WisDOT highway construction jobs now require as much work to be done in off-peak traffic conditions as possible. The full explanation and proposed conditions are included in the application cover letter.

### Pertinent Review Materials – Summary Overview

Business Name:	Stark Pavement Corp, Inc
Property Owner:	Dawson Trust (Hans Dawson, Lannon Stone Products, Inc)
Proposed Hours of Operation:	Monday-Friday 24 hours, Saturday 24 hours. Sunday 7:00 AM to 5:00 PM

Other Site and Operation Details Remain Unchanged.

vision to reality

### **Recommendation**

Planning Staff recommends that the Plan Commission determine if it is appropriate to grant approval for night operations to proceed for the time span requested by the applicant. If the Plan Commission elects to grant approval, Planning Staff recommends the following conditions of approval.

1. Standard Hours of operation shall be from Monday-Friday 6:00 AM to 6:00 PM, Saturday 6:00 AM to 2:00 PM, and Sunday 7:00 AM to 5:00 PM.
2. Temporary 24-Hour continuous operation hours shall terminate on November 30, 2020, or at the completion of the scheduled US Interstate 94 work, whichever occurs first.
3. Trucks hauling into and out of the site will be routed forward as much as possible to eliminate potential noise from back up alarms.
4. The loaders feeding the plant will be equipped with low frequency back up alarms that utilize a "squawking" sound instead of emitting a high-frequency type sound that carries a further distance.
5. Trucks will not be allowed to bang their tailgates.
6. Nighttime truck routes will utilize state and county roads only. There will be no trucking on any Town roads at night.
7. All the truck drivers hauling from the facility will be instructed to follow all highway safety rules and regulations including the use of engine brakes (especially at night) as they travel to and from the plant.
8. Truck drivers will be reminded that the use of this facility at night is a privilege and not a right, and they need to respect our neighbors and follow all traffic regulations as they travel through Lisbon.
9. Maintain radio contact with the trucks hauling from our facility and address any complaints immediately.
10. Any truckers that do not abide by the rules will be removed from the job.
11. There shall not be any processing (crushing or washing) of aggregates at night.
12. No jake-brake usage.
13. Non-objection from any Waukesha County reviewing agencies, including, but not limited to Waukesha County EHD.

The issues outlined above are meant to act as a guideline to assist you in discussions as to what issues you feel need to be addressed in order for you to review this proposal. I will be in attendance at the March Plan Commission meeting to answer any questions.

Sincerely,

Rachel Holloway, AICP  
Town Planner

cc: Gina Gresch, Town Administrator, Town of Lisbon



# Exhibit A: Parcels 0281.996.007, 0283.998, & 0280.992 Site Map

Town of Lisbon

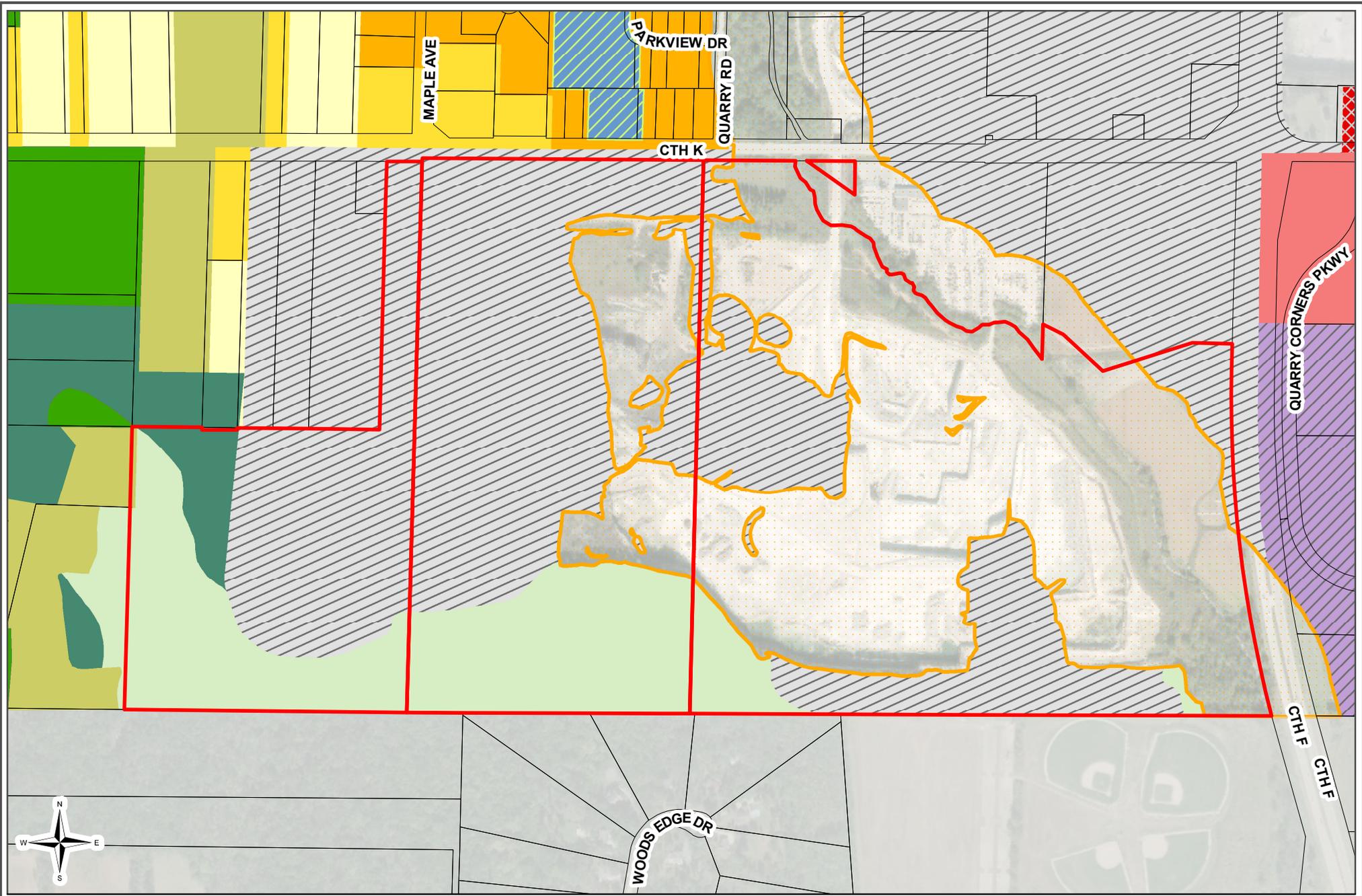


- Site
- Town of Lisbon Boundary
- Parcels
- Outside of Lisbon

**vierbicher**  
planners | engineers | advisors



REEDSBURG - MADISON - PRAIRIE DU CHIEN - MILWAUKEE METRO  
N27 W23957 Paul Road, Suite 105, Pewaukee, WI 53072  
Phone: (262) 875-5000 Fax: (608) 826-0530



## Exhibit B: Parcels 0281.996.007, 0283.998, & 0280.992 Zoning Map

Town of Lisbon



AD-10	A-5	R-2	B-1	B-4	M-1	C-1	Site
RD-5	A-3	R-3	B-2	B-P	M-2	UC	
A-10	R-1	RM	B-3	Q-1	P-I	PR	Waukesha Shoreland Zoning

**vierbicher**  
planners | engineers | advisors



REEDSBURG - MADISON - PRAIRIE DU CHIEN - MILWAUKEE METRO  
N27 W23957 Paul Road, Suite 105, Pewaukee, WI 53072  
Phone: (262) 875-5000 Fax: (608) 826-0530

**ASPHALT / CONCRETE PAVING CONTRACTOR**

T: 414-466-7820 • F: 262-784-6840

12845 W BURLEIGH RD • BROOKFIELD, WI 53005

*An Equal Opportunity Employer*



January 30, 2020

Ms. Gina Gresch  
Administrator  
Town of Lisbon  
W234 N 8676 Woodside Drive  
Lisbon, WI 53089



**Subject: Temporary Change to the Stark Pavement Corp. Asphalt Plant Plan of Operation**

Dear Ms. Gresch:

In efforts to provide as little inconvenience to the traveling public as possible, many WisDOT highway construction jobs now require as much work to be done in off-peak traffic conditions as possible. Stark Pavement Corporation is currently looking to bid the asphalt paving portion of the upcoming work on Interstate Highway 94 in Waukesha County. It is anticipated that much of the work is to be completed at night; as such, we are requesting approval to operate our asphalt plant on Lisbon Rd at night for the duration of the 2020 construction season (typically April 1<sup>st</sup> through November 30<sup>th</sup>).

We have successfully operated asphalt plants at this location on a 24-hour cycle in the past, most notably in 2011 for the major East-West Freeway repaving project, with minimal inconvenience to neighbors and town residents. Two asphalt plants ran at night for the duration of the project in that instance, so we would anticipate that running a single asphalt plant would experience similar success.

We will abide by the proposed nighttime operating conditions:

1. Trucks hauling into and out of the site will be routed forward as much as possible to eliminate potential noise from back up alarms.
2. The loaders feeding the plant will be equipped with low frequency back up alarms that utilize a "squawking" sound instead of emitting a high-frequency type sound that carries a further distance.
3. Trucks will not be allowed to bang their tailgates.
4. Nighttime truck routes will utilize state and county roads only. There will be no trucking on any town roads at night.
5. All the truck drivers hauling from the facility will be instructed to follow all highway safety rules and regulations including the use of engine brakes (especially at night) as they travel to and from the plant.
6. Truck drivers will be reminded that the use of this facility at night is a privilege and not a right, and they need to respect our neighbors and follow all traffic regulations as they travel through Lisbon.
7. Maintain radio contact with the trucks hauling from our facility and address any complaints immediately.
8. Any truckers that do not abide by the rules will be removed from the job.

We respectfully request that this item be placed on the February 13, 2020 Plan Commission agenda for consideration.

**ASPHALT / CONCRETE PAVING CONTRACTOR**

T: 414-466-7820 • F: 262-784-6840

12845 W BURLEIGH RD • BROOKFIELD, WI 53005

*An Equal Opportunity Employer*



Thank you for your time and consideration, and should you have any questions or concerns regarding this request, please do not hesitate to contact me at (414) 466-7820. We greatly appreciate the opportunity to successfully operate within the Lisbon community.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "C. Johnson", written in a cursive style.

Carl Johnson  
Vice President  
Stark Pavement Corporation, Inc.



## Item 5B – Attachments



## Store Engineering

FAX 608-793-6237

1626 Oak St., P.O. Box 2107  
La Crosse, WI 54602

[www.kwiktrip.com](http://www.kwiktrip.com)

Town of Lisbon  
Rachel Holloway  
W234 N8676 Woodside Rd  
Lisbon, WI 53089

February 12<sup>th</sup>, 2020

### CUP and Site Plan Review Submittals

Ms. Holloway,

This letter is intended to accompany our submittal for our application to the Town of Lisbon for the requested CUP Application and Site Plan Review Application for our proposed project located at NW260N9579 State Rd 164. We are proposing a new Retail Convenience Store with Fueling and Diesel Canopies at this site.

Kwik Trip, Inc. is proposing the construction of a 7297 S.F. convenience store with an attached dumpster enclosure w/ separate Fueling Canopies. I have submitted this in digital format only per your request. If hard copies are needed please let me know and I will submit them right away. I have verified that the fee is Site Plan Review \$500.00, and Erosion Control and CUP \$350.00. I included one check for total of \$850.00.

The proposed method of operation for this development will be consistent with that for our existing convenience stores within the area. The requested hours of operation will be 24 hours for all uses. The type of products that will be sold will be similar to that of our existing stores: gasoline, in line diesel, E-85, groceries, bakery and dairy, hot and cold food and beverages, tobacco products, beer, wine, liquor, lotto, convenience store merchandise, ice, and propane. The outside merchandising of products is being requested next to the store (ice and propane) and miscellaneous merchandising under the gas canopy. The proposed store is projected to have between 28-35 full and part time employees, with 2-8 on staff at any given time.

The proposed architectural plan will consist of a brick facade with standing seam metal roof. The building and canopy fascia will tie in with franchise colors. The prototype building is larger than previous years building. We have expanded the retail floor area as well as kitchen and mechanical space all on the main level with no basement. The total estimated project costs is \$2,000,000.

Kwik Trip would be happy to provide any additional information or answer any questions or concerns you may have with our submission. Please feel free to call me with any questions.

Sincerely,

**Jeff Osgood – Development Manager - Store Engineering - Kwik Trip, Inc.**

608-793-5547 - [josgood@kwiktrip.com](mailto:josgood@kwiktrip.com) 1626 Oak St | P.O. Box 2107 | La Crosse, WI 54602

### OUR MISSION

*To serve our customers and community more effectively than anyone else by treating our customers, co-workers and suppliers as we, personally, would like to be treated, and to make a difference in someone's life.*



W234 N8676 WOODSIDE RD.  
LISBON, WI 53089-1545  
TEL: (262) 246-6100

# Plan Commission Application

## Application Type and Fee (check all that apply)

\*Application fees are non-refundable. Fees cover costs associated with public notification, postage, copies, and document recording, however applicants agree to pay all additional expenses that the Town may incur by virtue of contracted plan review services including but not limited to: legal, surveying and engineering costs and studies.

**Commercial**  
*\*All commercial projects including any change of occupancy, change of use, or construction/alteration must be submitted to the Lisbon Fire Department as well for review and inspections.*  
 **Residential** – Home-Based Bus. / In-Law Unit

- Accessory Building Waiver: \$100 (Size/Location/Architectural Review)
- After the Fact Application: Double Fees
- Certified Survey Map: \$200 + \$10 Per lot
  - Dedication Fee (Per lot): \$2,658 (Paid upon receipt of signed CSM)
- Conditional Use Permit: \$350
  - Amendment / Original
  - Major Grading Permit
- Deed Restriction: \$100
- Developer's Agreement: \$250
- Groundwater Separation Waiver: \$100
- Land Use Amendment: \$300
- Conceptual: \$100
- Plat Review:
  - Final - \$200
  - Preliminary - \$500
- Re-Submittal: \$200
- Rezone: \$350
- Sign Permit Application: \$30 + Sign Fees (See Adopted Fee Schedule)
- Site Plan/Plan of Operation:
  - Amendment: \$250
  - Original: \$500
  - Temporary: \$125
- Special Meeting: \$600
- Waivers/Modification from Land Division and Development Ordinance: \$200

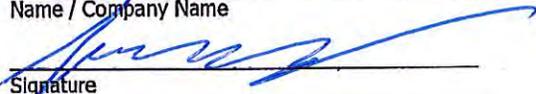
## Property Information

W260 N 9579 STORER RD 144 LISBON 53089  
Property Address City Zip

L5BT0161999004 3.1 Acres B-2  
Tax Key/Parcel ID # Lot Size Current Zoning

## Property Owner

WEXFORD HEIGHTS LP - SCOTT BEALL  
Name / Company Name

  
Signature

W178N9912 RIVERCREST DR. SUITE 101  
Address

GERMANTOWN WI 53022  
City State Zip

scott@bjcompanies.com 262-255-1800  
E-mail Address Phone

## Applicant

KWIK TRIP, INC - JEFF GOOD  
Name

KWIK TRIP, INC  
Company

1626 ONE ST  
Address

LA CROSSE WI 54602  
City State Zip

608-793-5147 jgood@kwiktrip.com  
Phone E-Mail Address

A **complete application** along with the appropriate fees shall be submitted by the deadline stated on the meeting schedule. In order for an application to be considered **complete**, the application shall include the required number of site plans/maps, and all of the necessary supporting information as indicated on the Project Review Checklist. If applying for a conditional use or development agreement, a document showing vested interest in the property is required. The Town of Lisbon reserves the right not to accept an application that is deemed incomplete.



W234N8676 WOODSIDE RD. • LISBON, WI 53089-1545 • TEL: (262) 246-6100 • FAX: (262) 820-2023  
E-mail: [townhall@townoflisbonwi.com](mailto:townhall@townoflisbonwi.com) • Website: [www.townoflisbonwi.com](http://www.townoflisbonwi.com)

## SITE PLAN AND PLAN OF OPERATION

Please fill out the entire application all questions need a response. If something does not apply please put N/A. Incomplete applications will not be processed or put on the agenda. The completion of this application form must be accompanied by one copy of an up to date and detailed Site Plan drawn to scale and including, but shall not be limited to, all existing buildings, signage, lighting, landscaping, parking, loading, storage, dumpsters, septic and well, etc; an interior layout (plans) of all buildings and the existing and proposed uses of the interior spaces (i.e., office, retail, restaurant, etc); and any other supporting materials. The above shall be submitted to the Town Hall, and upon review of the information, additional items may be required. The plans shall be drawn to scale and shall be no larger than 11" x 17", and shall also be emailed as a PDF. Future revisions to the approved Site Plan/Plan of Operation will require new approvals.

- New business in existing building or on existing site     
  New Owner     
  Temporary Use  
 Change in Operations (summarize below what is changing; days/hours, etc)

- Change in Use (summarize below prior and new use below)

CURRENTLY A CLOSED BAKE / WE ARE PROPOSING A RETAIL CONVENIENCE STORE

### BUSINESS / PROPERTY OWNER & PROPERTY INFORMATION

Tax Key Number LSBT 0161999 004      Acres 3.1      Zoning B-2

Business Name & Contact Person: KWIK TRIP, INC - JEFF OSGOOD

Full Address (Include City & Zip): 1626 ONE ST LA CROSSE, WI 54602

Phone Number & Email: 608-793-5547 / josgood@kwiktrip.com

Signature & Date: [Signature] 02/12/2020

\*\*\*\*\*

Property Owner Name: WGX FLP HEIGHTS LP - Scott Bence

Full Address (Include City & Zip): W170N 9912 RIVERCREST DR SUITE 101 GERMANTOWN, WI 53022

Phone Number & Email: 262-255-1800 Scott Cjb@companies.com

Signature & Date: [Signature] 02/12/2020

1. Is this business replacing another business?  Yes  No

a. If yes, what is the prior business' name: CLOSED BANK

2. Is this an expansion of an existing Town approved/based operation?  Yes  No

a. If yes, please explain: \_\_\_\_\_

**HOURS OF OPERATION & OPERATING SPECIFICS**

3. Describe in detail below the specific type of business operation (Retail, Restaurant, Manufacturing, Office, etc.), including temporary, accessory, and outdoor uses (storage, etc). Provide a separate list of all items sold or produced on the property. If items are produced, please provide a separate explanation of the production process.

SEE ATTACHED COVER LETTER  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. Days & Times of Operation:

a. Days & Times: 24/7

5. Employees (if self-employed please count yourself)

a. Full-Time \_\_\_\_\_  
b. Part-Time \_\_\_\_\_ } 20-35 Full / Part-Times

**FOOD / BEVERAGE / LIQUOR**

6. Is there any food & beverage / liquor service?  Yes  No

a. If yes, please explain: WE DO REQUEST TO SELL LIQUOR, BEER, + WINE + FOOD BUT (LOCAL ONLY)  
NO OPEN SERVICE

7. Table Seating Capacity

- a. Outside: 8 SPOTS @ PICNIC TABLES
- b. Inside: 8 SPOTS @ RAISON D'AMOUR
- c. Bar: N/A

8. Food / Soda Vending Machines  Yes  No

- a. If yes, quantity of each: \_\_\_\_\_

OUTDOOR USES

9. Is there any outdoor storage?  Yes  No

- a. If yes, please explain: 2 - ICE MERCHANDISERS FOR INITIAL OVERSTOCK / FIREWOOD @ FRONT OF STORES /  
SOFTWARE UNIT @ GAS CANOPY

10. Will there be any outdoor events?  Yes  No

- a. If yes, please describe the types of events, parking accommodations, sanitary facilities and delineate the locations of the events on the Site Plan submitted. Attach a separate sheet if necessary.

---

---

---

---

11. Will there be any customer dockage?  Yes  No

- a. If yes, please indicate on the Site Plan length and number of piers.

12. Parking Lot

- a. Dimensions SEE PLAN
- b. Total number of spaces 33 w/ ADA / 20 SPOTS @ GAS CANOPY
- c. Number of spaces allotted for employees 0 MAX

**MUSIC / ENTERTAINMENT**

13. Are any problems such as odor, smoke or noise resulting from this operation?  Yes  No

a. If yes, describe what types (live, amplified, recorded, jukebox, etc), indoors and/or outdoors, and the days and hours music will be provided? Attach a separate sheet if necessary.

---

---

---

---

14. Game Machines  Yes  No

a. Quantity: \_\_\_\_\_

b. Location: \_\_\_\_\_

**BUILDINGS**

15. Building A

a. Dimensions & Levels: 97'-4" X 80'-4" / 1-LEVEL

b. Use: RESTAURANT CONSTRUCTION STORE

16. Building B

a. Dimensions & Levels: 40' X 120' / 1-LEVEL

b. Use: GAS CANOPY

17. Building C

a. Dimensions & Levels: 24' X 50' / 1-LEVEL

b. Use: DIESEL CANOPY

**LIGHTING (Submit Cut-Sheets)**

18. Outdoor Lighting

a. Type(s): SEE PHOTOGRAPHIC PLAN

b. Locations(s): " " "

**SIGNAGE (Also submit the Town's Signage Application & appropriate fees)**

19. Describe below the type of signage that exists and what signage is proposed on the site (attached, free standing, ground, mobile, projecting, window, electronic message, banners, flags, sandwich boards, etc.) and if the signs are illuminated, single/double faced, along with the number, size, and height of all signs.

SEE SIGNAGE PLAN

---

---

---

---

**CHEMICALS/HAZARDOUS MATERIALS**

20. Are there any Chemicals, Hazardous Waste or Solvents stored on the site?  Yes  No

a. If yes, please list those items and how they are disposed of or attach a separate sheet if necessary.

---

---

---

---

21. Does this Operation involve the Storage/Sale of gasoline or any other Petroleum Products?  Yes  No

a. If yes, please list those items and how they are disposed of or attach a separate sheet if necessary.

FUEL IS STORED UNDERGROUND IN REGULATED DOUBLE WALL TANKS AND DISPENSED IN  
REGULATED DISPENSERS TO CUSTOMERS

---

---

---

**STORM WATER RETENTION, FLOW OF SURFACE WATER, AND AMOUNT OF IMPERVIOUS SURFACES**

22. Are there surface water drainage facilities?  Yes  No

a. If yes, please explain: SEE STORMWATER MANAGEMENT PLAN THAT WAS SUBMITTED TO THE

COUNTY FOR REVIEW

---

---

**REFUSE DISPOSAL**

23. Are there dumpsters/waste containers on the site?  Yes  No

a. If yes, show on the Site Plan submitted the location of dumpsters and any screening.

**PERMIT APPROVAL / ISSUANCE DATES**

24. Is Highway Access Permit Needed?  Yes  No

a. Date Issued: WORKING W/ BOTH COUNTY + DOT FOR ACCESS

25. DNR Well Approval (For New Constructions Only)

a. Date Approved: WE WILL BE SUBMITTING TO DNR FOR PERMIT

26. Septic System Approval (For New Constructions Only)

a. Date Approved: WE WILL BE SUBMITTING FOR PERMIT

27. Fire Department Inspection  Yes  No

a. Date Inspected: \_\_\_\_\_

28. Did the Wisconsin Department of Safety & Professional Services approve building plans?  Yes  No

a. Date Approved: ONCE APPROVED WE WILL PREPARE + SUBMIT FULL PLANS TO DSPS

29. Is security fencing necessary?  Yes  No

**HORSE BOARDING**

30. Does this Operation involve the Boarding of Horses?  Yes  No

a. Maximum number of horses boarded: \_\_\_\_\_

b. Maximum number of horses owned: \_\_\_\_\_

31. Has a Conservation Plan been prepared by the Land Conservation Committee?  Yes  No

a. Date Prepared: \_\_\_\_\_

.....  
Town Approval Date(s): \_\_\_\_\_

County Approval Date(s): \_\_\_\_\_



N27 W23957 Paul Road, Suite 105  
Pewaukee, WI 53072  
(262) 875-5000 phone  
(608) 826-0530 FAX  
www.vierbicher.com

March 13, 2020

Chairperson Osterman and Town Plan Commission Members  
Town of Lisbon  
W23N8676 Woodside Road  
Lisbon, WI 53089

Re: Kwik Trip Wexford Heights – Conditional Use Permit Application and Site Plan / Plan of Operation Review

Dear Plan Commission Members:

The above-referenced Conditional Use Permit (CUP) application and associated Site Plan / Plan of Operation (SPPOO) were received in our office for review on behalf of the Town of Lisbon. A concept plan for the development was reviewed in December, 2019. We have reviewed the following application materials:

- Conditional Use Permit (CUP) Application
- Town Site Plan and Plan of Operation Application
- Civil Engineering and Landscape Plans
- Colored Elevations and Architectural Building Plans
- Photometric Site Lighting Plan and Lighting Cut Sheets

### Summary

Kwik Trip, Inc., on behalf of Wexford Heights LP, is proposing to construct a new 7,350 square foot convenience store and gas station with gasoline and diesel canopies at the southwest corner of County Line Road (CTH Q) and State Highway 164. The site is approximately 3.1 acres in size and is zoned B-2 Local Business. The site plan includes:

- A 7,350 square foot, single-story building with a 4,800 square foot gasoline canopy and a 1,200 square foot diesel canopy;
- 31 standard parking stalls (including two (2) ADA accessible stalls with loading zone);
- One (1) loading area for large trucks;
- Outdoor storage of two (2) ice merchandisers for inside overstock, firewood at front of store, and softners at the gas canopy;
- The business will be served by septic system and private well;
- Outdoor seating for eight (8) spots at picnic tables.

Kwik Trip anticipates 28 to 35 full/part-time employees at the site, with operations running seven (7) days a week, 24 hours per day. The Plan of Operation notes the desire to sell liquor, beer, wine, and food, but closed container with no open service.

### Application Review

The parcel is subject to compliance with the Town Code Chapters 11, 12, 13, other applicable Chapters.

#### **Background Information**

Property owner: Wexford Heights LP

Location: Southwest corner of County Line Road (CTH Q) and State Highway 164.

Tax Key: LSBT0161999004

Adjacent land uses and zoning:

North: St. Columbia Cemetery, Gas Station and C-Store (in Town of Richfield, across CTH Q, zoned for B-5 Downtown Business)

South: Vacant land (zoned B-2 Local Business)

East: County Line Plaza shopping center (zoned B-2 Local Business)

West: Vacant land B-2 Local Business and R-1 Suburban Single-Family)

Existing and Proposed Zoning: B-2 Local Business proposed CUP for Gas Station and Convenience Store



Future Land Use: "Commercial and Office Park" (see inset map image)

The use, removal, and/or distribution of the waste soil on the site shall be worked out between the Town and the applicant separate from this application. For the purposes of this review, we have assumed the pile will be managed according to any applicable grading standards and disposal regulations.

#### **Conditional Use Permit (CUP) Review**

Chapter 11 of the Town Ordinances (Zoning Code) lays out the requirements for application and approval of Conditional Use Permits in the Town. Certain uses of a special nature require the approval of a Conditional Use Permit by the Town. The basis for approval of the CUP is based on the following five standards. Per Sec. 4(d) of the Zoning Code, the Plan Commission may deny the conditional use request if it concludes, based upon the information submitted, that the proposed use and/or development would likely:

1. Materially endanger the public health, general welfare, and safety.
2. Be hazardous, harmful, noxious, offensive, or a nuisance by reason of noise, dust, smoke, odor, or other similar factor.
3. For any other reason cause a substantially adverse effect on property values.
4. Be inharmonious with the area in which it is to be located.
5. Will not be in general conformity with the land use plan, comprehensive plan, transportation plan, environmental plan, park, and recreational plan, or other officially adopted plan.

#### **Consistency with Comprehensive Plan**

The proposed use is consistent with the Town Comprehensive Plan, including the Future Land Use Map. The Future Land Use Map designates this area as "Commercial and Office Park" and the proposed use is for a commercial use. The site is located at the intersection of a County Highway and a State Highway and across the street from an existing commercial shopping center. Soil tests shall be done to confirm the soils are buildable.

### **Site Plan and Plan of Operation Review Standards**

The Site Plan and Plan of Operation package that we received for review contains most of the items required by ordinance. However, some items are not included at the date of this report. Please see the comments below, Consistency with Zoning, on the additional information needed.

### **Consistency with Zoning**

The proposed CUP and SPPOO propose a gas station and associated convenience store. The B-2 Local Business zoning district allows for "Automobile, Gasoline, and Service Station and Convenience Stores associated with gasoline sales" as a Conditional Use. The site plan complies with the use and building requirements of the B-2 Local Business zoning district (currently under review at Waukesha County), including building setbacks and offsets, building height, and maximum floor area ratio. Comments below relate to other details or standards that should be addressed.

### *Zoning Code General Provisions*

1. The Town Zoning ordinance requires 221 parking stalls based on 7,350 square feet of retail floor area. The applicant has shown an alternate parking plan for the establishment which is proposed as being adequate for similar establishments which they have constructed and managed.  
  
Staff Note: this ordinance standard is archaic and does on separate high-traffic and long-stay retail, such as restaurants, from short-stay users. The Town may want to consider amending this ordinance provision in the future.
2. The site plan provides more than the minimum one (1) loading space that are required by ordinance based on floor area.
3. Stormwater storage and drainage calculation will need to be approved by the Town Engineer.
4. Site plan sheets should indicate location of setback and offsets.
5. Lighting appears to comply with Town Code requirements that fixtures be hooded or beamed to eliminate glare, and pole lights comply with the maximum height of 18 feet. However, no pole height is indicated.
6. Sign approvals are to be handled at a later date with an application for a sign permit.
7. Fuel Canopies, as shown, encompass 4.4% of the total lot size, which exceeds the 3% maximum for accessory structures. The need for additional accessory structure lot coverage will need to be provided by the applicant and approved by the Plan Commission. The applicant wishes to exceed the maximum height of 15'. The code does not specifically detail heights for canopied structures. The need for additional canopy heights will be provided by the applicant and will need to be approved by the Plan Commission.
8. At least 15% of the site shall be set aside as open space. The site plan exceeds the standard with 38% pervious surface coverage.
9. A 30' wide green space shall be provided along County Highway Q and State Highway 164 ROW and shall include landscape plantings. The proposed site plan does not meet these standards. However, recent road improvements along Highway Q have been done within the existing Washington County has given preliminary approval on the access to the site along this arterial, showing no need by the County for more ROW for future for widening. The ROW along State Highway 164 is already at the 100' shown on the Waukesha County Street and Highway width map. Therefore, these green space standards will not be needed to accommodate future arterial widening at this site.

10. A 20' wide planted buffer shall be required along all property lines not adjacent to a parking area. Such buffer shall contain two (2) shade trees, six (6) evergreen trees, and 20 shrubs. The proposed site plan does not meet these standards. The need to deviate from these landscaping standards will be provided by the applicant and will need to be approved by the Plan Commission.
11. Parking facilities are required to be 30' from the County Highway Q and State Highway 164 ROW. The proposed site plan does not meet these standards. The need to deviate from these parking facility setbacks will be provided by the applicant and will need to be approved by the Plan Commission.
12. Commercial parking lots shall not be located in the street yard. The proposed site plan does not meet this standard. The need to deviate from this parking placement standard will be provided by the applicant and will need to be approved by the Plan Commission.
13. Retaining wall dimensions are required on the Site Plan, none are provided.

### **Recommendation**

If the Plan Commission would require additional materials they have the ability to table the CUP application and/or the SPPOO application. If the Plan Commission is generally comfortable with the CUP and the SPPOO request, they may conditionally approve it. Recommended conditions may include:

1. The Town of Lisbon retains the right to annually review the business operation for compliance with approved plans.
2. The Fire Chief shall inspect the premises to ensure the site is in compliance with the respective fire codes. Non-objection from the Fire Department and correction of any deficiencies prior to issuance of occupancy permits.
3. The Building Inspector shall inspect the premises to ensure the site is in compliance with the respective building codes. Non-objection from the Building Inspector and correction of any deficiencies prior to issuance of occupancy permits.
4. The Town Engineer review the site plans to ensure the site is in compliance with the respective Town codes. Non-objection from the Town Engineer and correction of any deficiencies prior to issuance of SPPOO approval.
5. Show canopy heights.
6. Provide acceptable explanation for any canopy heights exceeding 15'.
7. Show lighting pole heights.
8. Provide acceptable explanation for any canopy heights exceeding 18'.
9. There shall be no outdoor storage of materials unless otherwise noted on approved site plans.
10. There shall be no trash or recycling stored outside of the building, except within a fully screened on-site dumpster/waste container, which must be shown on the final Site Plan.
11. Show setback and offset lines on plan sheets.
12. Show snow storage areas on site and landscaping plans.
13. Provide plans for ongoing maintenance of landscaping, including mowing and weed

management.

14. Soil tests shall be done, and provided to the Town, to confirm the soils are buildable.
15. Provide acceptable explanation of any deviations from landscaping and parking standards listed in Addendum A – Chapter 12.
16. The Waukesha County Environmental Health Division may review and approve of the uses on the subject property, prior to the issuance of any permits.
17. Acceptable explanation shall be provided for the proposed parking alternate layout and provided spaces.
18. An up-to-date Site Plan and Plan of Operation must be on file at all times with the Town of Lisbon.
19. Approval of Traffic Study and transportation improvements deemed necessary by WisDOT and compliance with any approved Traffic Study and required improvements along State Highway 164. Approved copy of Traffic Study shall be provided to the Town.
20. Approval of setbacks along State Highway 164 by WisDOT.
21. Approval of road improvements and access drive by Washington County DOT along County Highway Q. Approval shall be provided to the Town.
22. Approval from WisDOT, Washington County, and other relevant agencies for grading or work within road ROW. Approved permits shall be provided to the Town.
23. Waukesha County review and approval of stormwater plans.
24. The proposed hours and days of operation, 24 hours per day, seven (7) days per week, shall be valid for twelve months. After 12 months, hours shall be from 5am to 10pm, seven (7) days per week, for customers, and 24 hours, seven (7) days per week, for employees or service vendors, unless a SPPOO amendment is submitted and approved for alternate hours and days of operation.
25. The approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Conditional Use Permit and/or Site Plan/Plan of Operation permit, as applicable, with all the zoning procedures at the time of being followed. Any use not specifically listed as permitted for this B-2 Local Business zoning district, shall be considered to be prohibited, except as otherwise specified herein.
26. The Town reserves the right to review any condition imposed as part of this Conditional Use Permit and Site Plan and Plan of Operation if said use becomes a problem in the area. The Town Plan Commission may modify, change, delete, add, etc. any conditions, through the Site Plan and Plan of Operation process, which they feel may be reasonable in order to allow this use and ensure it does not become detrimental to the surrounding area. Any major change, as determined by the Town Plan Commission may require modification to the CUP and/or SPPOO Permits or termination of the use.
27. County approval of the final Stormwater Management Agreement.

March 5, 2020

Page 6 of 6

The issues outlined above are meant to act as a guideline to assist you in discussions as to what issues you feel need to be addressed in order for you to review this proposal. We will be in attendance at the March Plan Commission meeting to answer any questions.

Sincerely,

Joshua Langen, AICP  
Community Development Planner

Rachel Holloway, AICP  
Town Planner

cc: Gina Gresch, Town Administrator, Town of Lisbon

M:\Lisbon, Town of\190047 - 2019 Town Planning Services\2019 Tasks\2019.55 - KWIK TRIP 164 and CTH Q\2020-02-13 Kwik Trip CUP SPPOO Review\_March\_12\_2020\_CP\_rev030420.docx

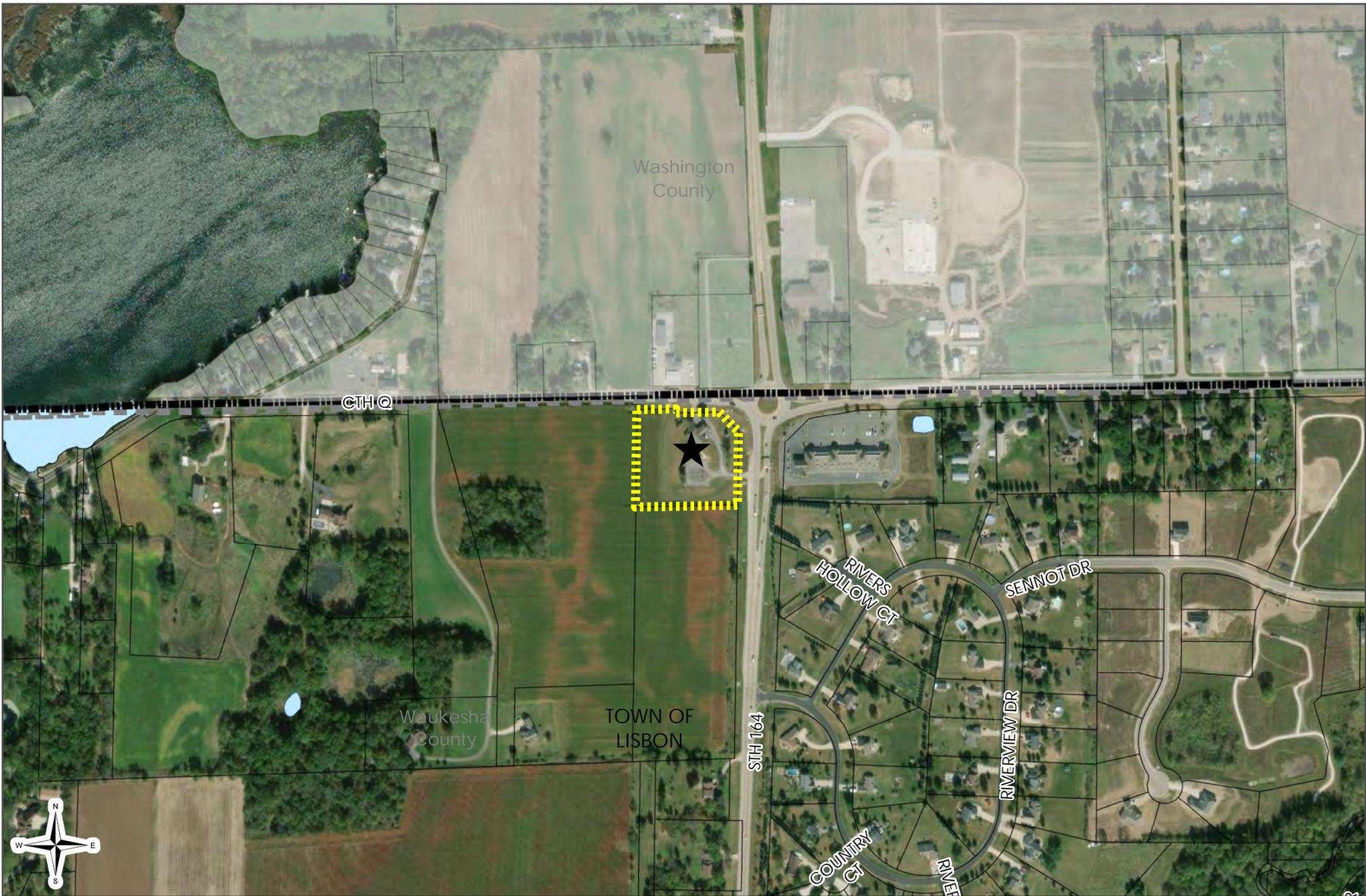
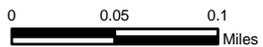


Exhibit A: Parcel ID 0161.999 004 Site Map  
*Town of Lisbon*

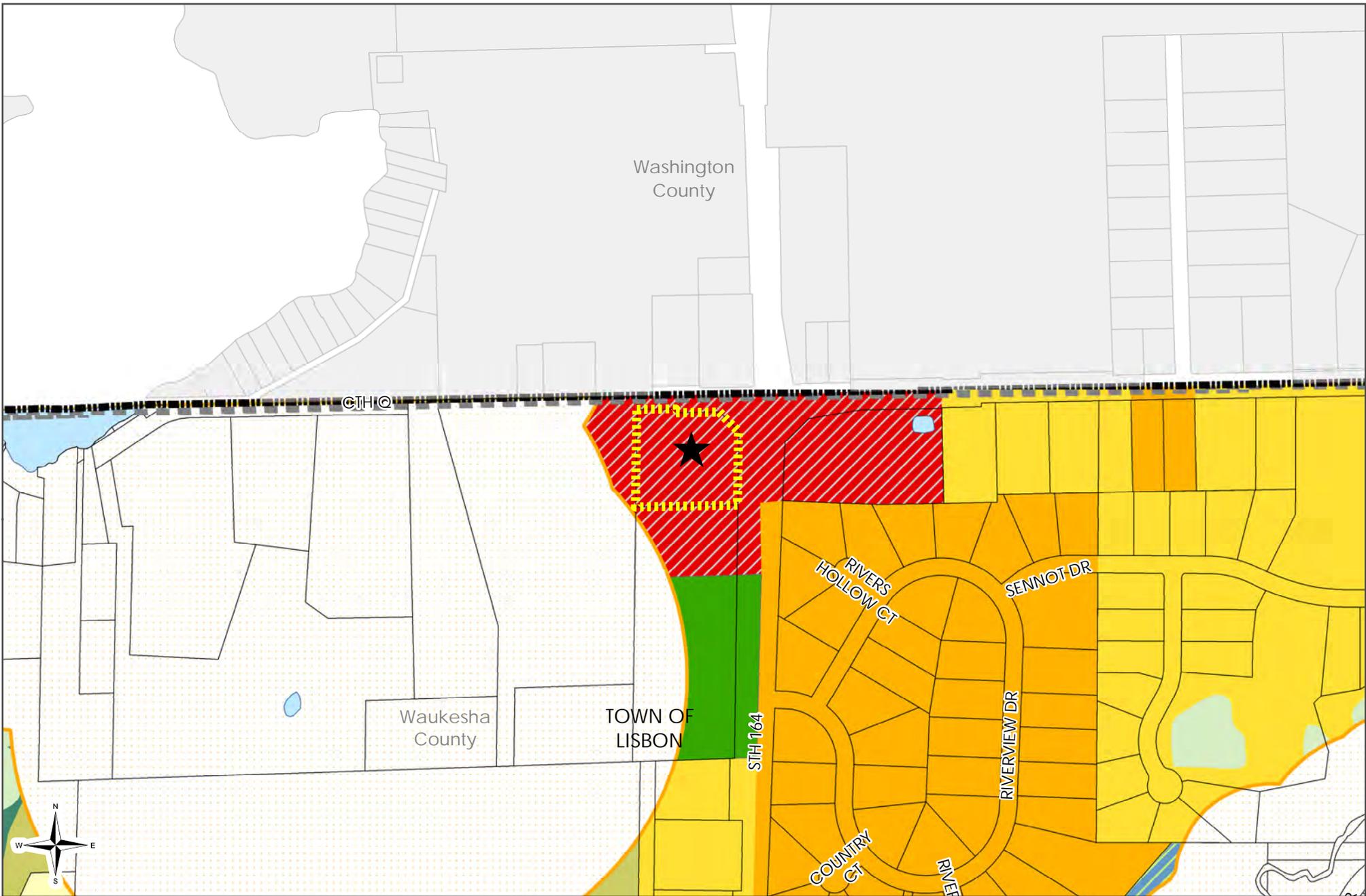


-  Town of Lisbon Boundary
-  Subject Property
-  County Boundaries

**vierbicher**  
 planners | engineers | advisors



REEDSBURG - MADISON - PRAIRIE DU CHIEN - MILWAUKEE METRO  
 N27 W23957 Paul Road, Suite 105, Pewaukee, WI 53072  
 Phone: (262) 875-5000 Fax: (608) 826-0530



# Exhibit B: Parcel ID 0161.999 004 Zoning Map

Town of Lisbon



AD-10	A-5	R-2	B-1	B-4	M-1	C-1
RD-5	A-3	R-3	B-2	B-P	M-2	UC
A-10	R-1	RM	B-3	Q-1	P-1	PR

- Town of Lisbon Boundary
- Subject Property
- County Boundaries
- Waukesha Shoreland Zoning

vierbicher  
planners engineers advisors

REEDSBURG - MADISON - PRAIRIE DU CHIEN - MILWAUKEE METRO  
N27 W23957 Paul Road, Suite 105, Pewaukee, WI 53072  
Phone: (262) 875-5000 Fax: (608) 826-0530



TABLE "A" ITEMS

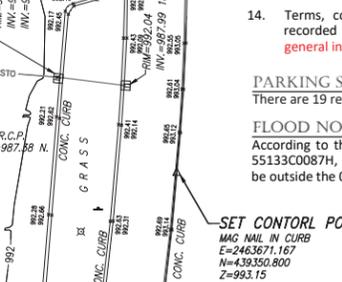
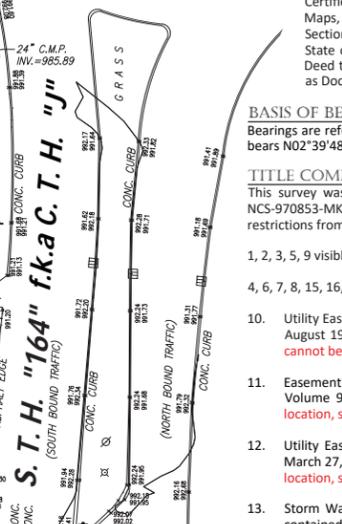
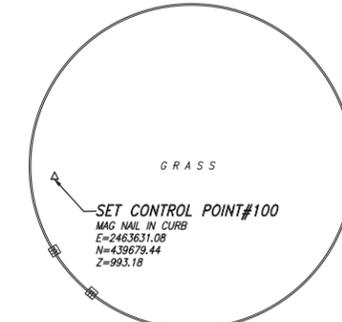
- 6(b). The zoning information is provided per the Conditional Use Permit, Doc. No. 4231513 dated September 14, 2016.
11. Utility lines are shown from visible surface evidence, municipal plans and from plans and markings provided by Diggers Hotline, the One-call Utility Marking System (Wisconsin Statute 182.0175), Ticket Number 20193207453, 20193212209 & 20193207378.
17. There are no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is shown.
18. There is no evidence on site of delineated wetlands areas.
19. There were no offsite easements or servitudes benefiting the survey property disclosed in furnished Title Commitment at the time of survey.

# ALTA/NSPS LAND TITLE SURVEY

CLIENT  
Kwip Trip, Inc.

SITE ADDRESS  
W260 N9579, S.T.H. 164 in the Town of Lisbon, Waukesha County, Wisconsin.

CHAPUT LAND SURVEYS



**LEGAL DESCRIPTION**  
Certified Survey Map No. 2334, recorded June 25, 1975, in Volume 17 of Certified Survey Maps, on pages 6 and 7, as Document No. 915432, being part of the Northeast 1/4 of Section 5, Town 8 North, Range 19 East, in the Town of Lisbon, County of Waukesha, State of Wisconsin. EXCEPTING THEREFROM that portion of land conveyed in Warranty Deed to State of Wisconsin, Department of Transportation recorded on August 13, 2008 as Document No. 3592979.

**BASIS OF BEARINGS**  
Bearings are referenced to the Certified Survey Map No. 2334 in which East line of the NE 1/4, bears N02°39'48"E.

**TITLE COMMITMENT**  
This survey was prepared based on First American Title Insurance Company Commitment No. NCS-970853-MKE, effective date of July 16, 2019 which lists the following easements and/or restrictions from schedule B-II:

- 1, 2, 3, 5, 9 visible evidence shown, if any.
- 4, 6, 7, 8, 15, 16, 17 & 18 not survey related.
- Utility Easement to Wisconsin Gas and Electric Company, dated June 12, 1926, recorded/filed August 19, 1926 as Document No. 145420. **Affects property by location, general in nature, cannot be plotted.**
- Easement for highway purposes contained in instrument recorded on December 10, 1962 in Volume 934 of Deeds, Page 248 as Document No. 578485. **Does not affect property by location, shown.**
- Utility Easement to Wisconsin Telephone Company, dated March 10, 1980, recorded/filed March 27, 1980 in Reel 402, Image 33 as Document No. 1123227. **Does not affect property by location, shown.**
- Storm Water Management Practice Agreement upon the terms, conditions and provisions contained therein:  
Dated: April 11, 2016  
Parties: Wexford Heights, L.P. a Wisconsin limited liability company and Town of Lisbon  
Recorded: May 04, 2016  
Instrument No.: 4204565. **Affects property by location, blanket type.**
- Terms, conditions, restrictions and provisions as contained in Conditional Use Permit recorded on September 14, 2016 as Document No. 4231513. **Affects property by location, general in nature.**

**PARKING SPACES**  
There are 19 regular parking spaces and 1 handicap space marked on this site.

**FLOOD NOTE**  
According to the flood insurance rate map of the County of Milwaukee, Community Panel No. 55133C0087H, effective date of November 5, 2014, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

**LAND AREA**  
The Land Area of the subject property is 134,554 square feet or 3.0889 acres.

TO: Kwip Trip, Inc., a Wisconsin Corporation  
National Commercial Services  
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(c), 8, 9, 11, 14, 17, 18, 19, 20, 21 and 22 of Table A thereof. The field work was completed on August 21, 2019.

Donald C. Chaput  
S-1316  
MILWAUKEE, WI  
LAND SURVEYOR

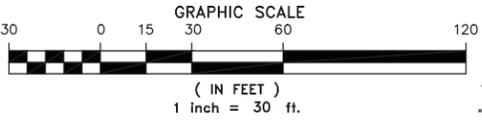
Donald C. Chaput  
Professional Land Surveyor  
Registration Number S-1316

Date of Map: August 21, 2019.

Date	Revision description	far
Aug 28, 2019	Certification & Zoning	far

**CHAPUT LAND SURVEYS**  
234 W. Florida Street  
Milwaukee, WI 53204  
414-224-8068  
www.chaputlandsurveys.com

This document is an instrument of professional service, and may be protected by the surveyors work product doctrine or surveyor/client privilege. The information shown herein is intended solely for the use of the client and client directed third parties.  
Drawing No. 20190828ALT1761.02-far

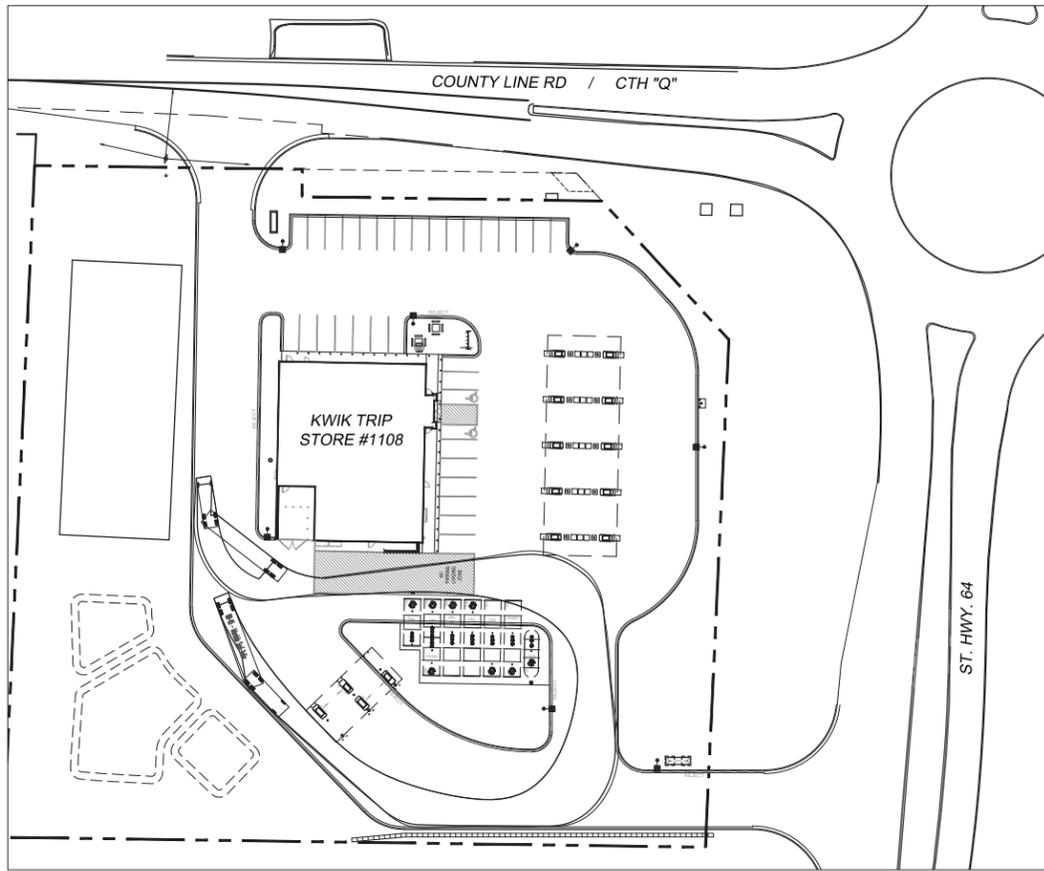


**LEGEND**

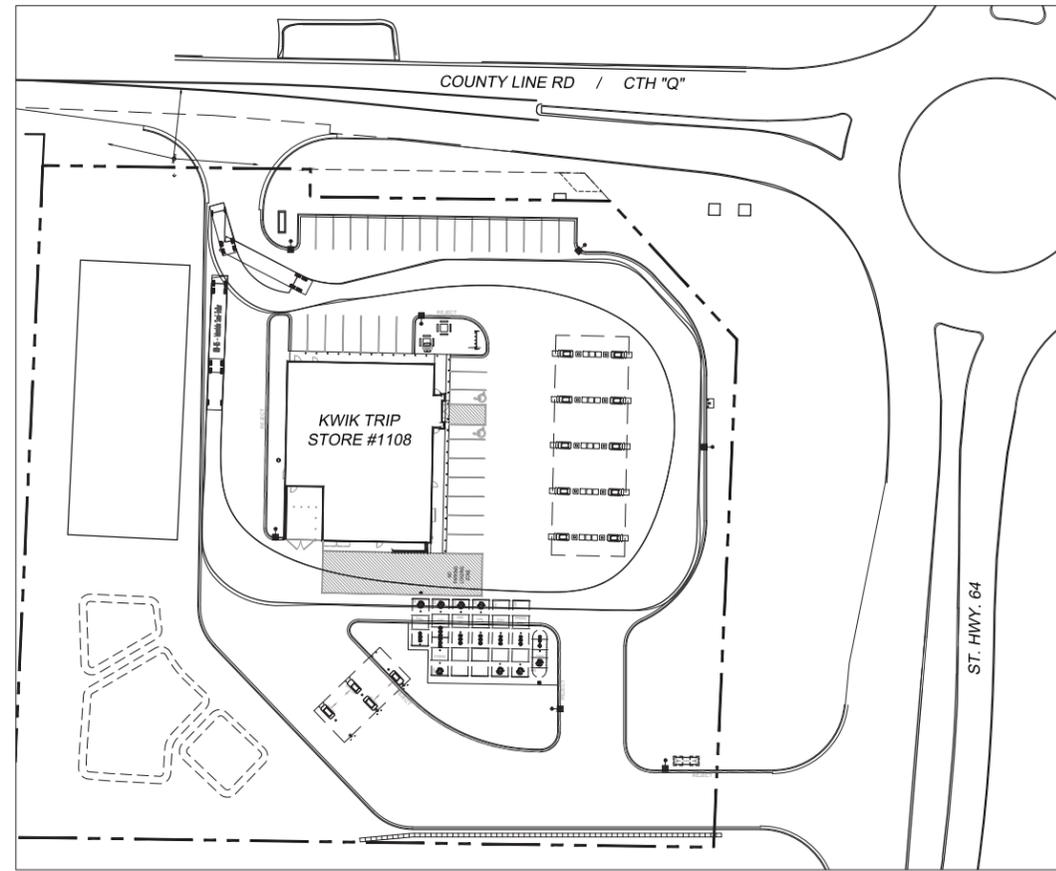
● INDICATES FOUND 1" IRON PIPE	□ TELEPHONE PEDESTAL
○ INDICATES SET 1" IRON PIPE	▣ CABLE PEDESTAL
+ INDICATES FOUND CHISELED CROSS	▢ CONTROL BOX
⊕ SANITARY MANHOLE	⊞ FIBER OPTIC SIGN
⊖ SANITARY CLEANOUT OR VENT	⊠ TRAFFIC LIGHT
⊙ M.I.S. MANHOLE	⊡ COMMUNICATION MANHOLE
⊗ UNKNOWN MANHOLE	⊟ BOLLARD
⊘ STORM MANHOLE	⊕ SOIL BORING/MONITORING WELL
⊙ INLET (ROUND)	⊖ WATER SURFACE
⊙ INLET (SQUARE)	⊗ WETLANDS FLAG
⊙ STORM SEWER END SECTION	⊘ MARSH
⊙ GAS VALVE	⊙ FLAGPOLE
⊙ GAS METER	⊙ PARKING METER
⊙ WATER VALVE	⊙ SIGN
⊙ HYDRANT	⊙ MAILBOX
⊙ WATER MANHOLE	⊙ RAILROAD CROSSING SIGNAL
⊙ WATER SERVICE CURB STOP	⊙ HANDICAP SPACE
⊙ WELL HEAD	⊙ CONIFEROUS TREE
⊙ STAND PIPE	⊙ DECIDUOUS TREE
⊙ WALL INDICATOR VALVE	— SANITARY SEWER
⊙ POST INDICATOR VALVE	— STORM SEWER
⊙ LIGHT POLE	— WATERLINE
⊙ SPOT/YARD LIGHT	— MARKED GAS MAIN
⊙ UTILITY POLE	— MARKED ELECTRIC
⊙ GUY POLE	— OVERHEAD WIRES
⊙ GUY WIRE	— MARKED TELEPHONE
⊙ ELECTRIC MANHOLE	— MARKED CABLE TV LINE
⊙ ELECTRIC PEDESTAL	— MARKED FIBER OPTIC
⊙ ELECTRIC METER	— FENCE
⊙ TELEPHONE MANHOLE	

**MUNICIPAL ZONING**  
The zoning information is provided per the Conditional Use Permit, Doc. No. 4231513 dated September 14, 2016.  
Site is zoned: B-2 (Local Business District)

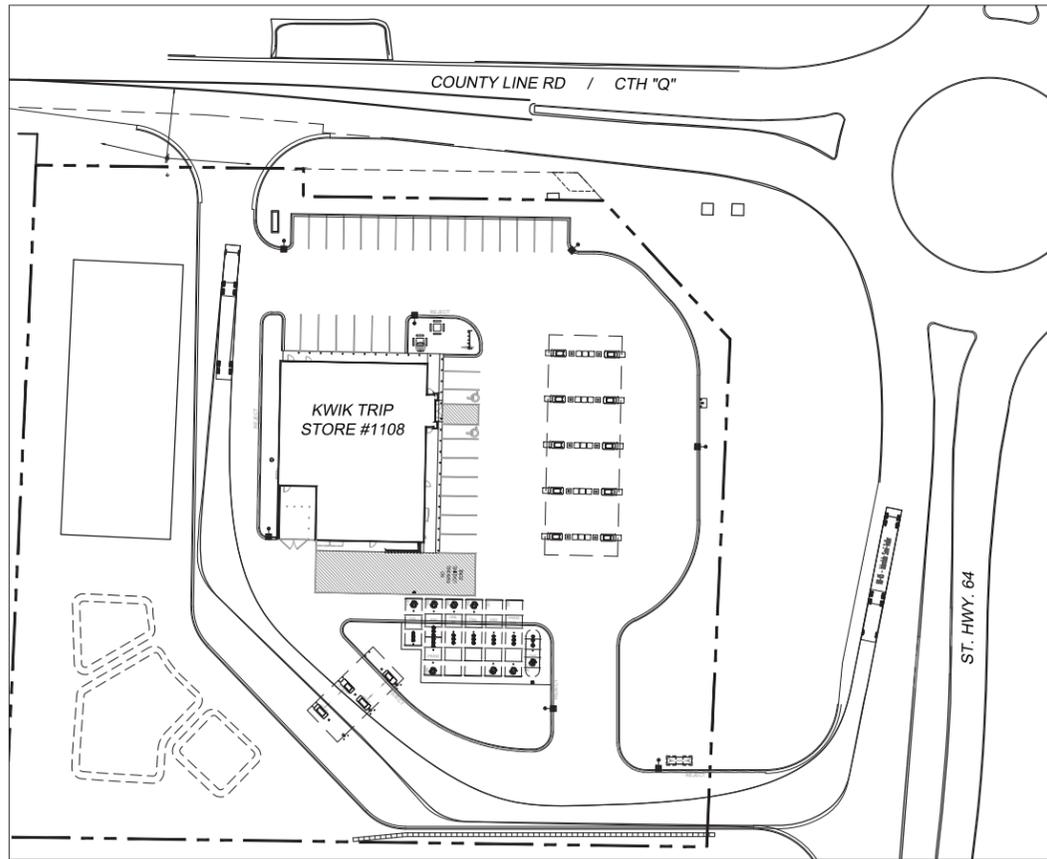




TRUCK ROUTE FOR STORE DELIVERY  
SCALE: NOT TO SCALE



TRUCK ROUTE FOR FUEL DELIVERY  
SCALE: NOT TO SCALE



TRUCK ROUTE FOR DIESEL CUSTOMER  
SCALE: NOT TO SCALE



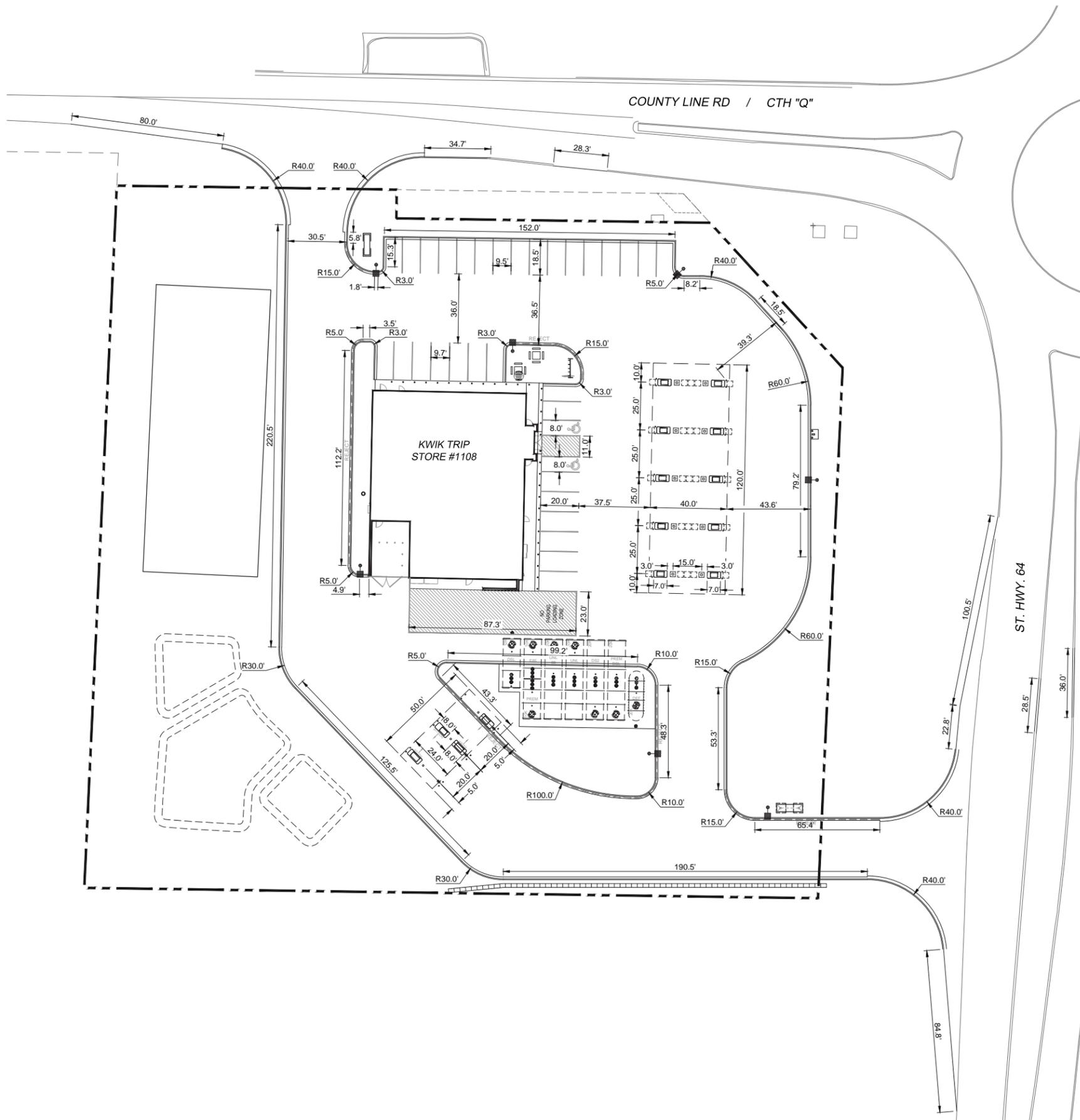
KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960



SITE TURNING MOVEMENT  
CONVENIENCE STORE #1108  
WITH DIESEL  
W260 N9579 WI-164  
TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY S. ANDERSON / L. OLSON  
SCALE NOTED  
PROJ. NO. 119.1179.30  
DATE FEBRUARY 5, 2020  
SHEET SP 1.0



**SITE INFORMATION**

ZONING DISTRICT: B-2 - LOCAL BUSINESS DISTRICT  
 TOTAL SITE AREA: 134,554 SF / 3.09 ACRES  
 TOTAL DISTURBED AREA: 133,840 SF / 3.07 ACRES  
 EXISTING IMPERVIOUS: 25,067 SF  
 TOTAL IMPERVIOUS: 82,965 SF (61.7% LOT COVERAGE)  
 PAVED AREA: 68,475 SF  
 BUILDING AREA: 7,350 SF  
 CANOPY AREA: 4,800 SF  
 SIDEWALK / PICNIC AREA: 2,340 SF  
 PRO. PERVIOUS: 51,589 SF (38.3% LOT COVERAGE)

**PARKING STALL COUNT**

STANDARD PARKING: 31 STALLS  
 ADA PARKING 2 STALLS WITH LOADING ZONE  
 TRUCK PARKING 1 UNLOADING STALL

ADA PARKING STALL REQUIREMENTS:  
 ADA STALLS REQUIRED ON SITE = 2  
 ADA STALLS SHOWN ON THE PLANS = 2

**BUILDING HEIGHTS - 45' MAXIMUM**

CONVENIENCE STORE 20'-0"  
 CANOPY 15'-6"

**BUILDING SETBACKS / OFFSETS**

FRONT: 50'  
 REAR: 50' / 10'  
 SIDE: 50' / 10'  
 OFFSET DISTANCE TO BE USED WHEN LOT LINE IS NOT ALONG A STREET

**UTILITY COMPANY INFORMATION**

ELECTRICITY - ALLIANT ENERGY - 800-862-6222  
 NATURAL GAS - ALLIANT ENERGY - 800-862-6222  
 PHONE - SPECTRUM - 855-707-7328  
 CABLE - SPECTRUM - 855-707-7328  
 SANITARY SEWER - SEPTIC SYSTEM  
 WATER SERVICE - PRIVATE WELL

**FIRE LANE:**

COUNTY LINE ROAD (C.T.H.'Q') OR STATE HWY 164 WILL ACT AS THE FIRE LANE ACCESS TO THE BUILDING.

**NOTE:**

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON AND ADJACENT TO THE SITE PRIOR TO THE START OF THE PROJECT.

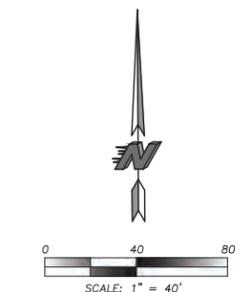
RADII ARE FROM FACE OF CURB

DIMENSIONS ARE FROM FACE OF CURB

**FLOOD NOTE:**

ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE COUNTY OF MILWAUKEE, COMMUNITY PANEL NO. 55133C0087H, EFFECTIVE DATE OF NOVEMBER 5, 2014, THIS SITE FALLS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**  
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



PLOTTING NOTE: PLANS PLOTTED TO 11X17 SHEET SIZE ARE 1/2 SCALE - 1"=80'



KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

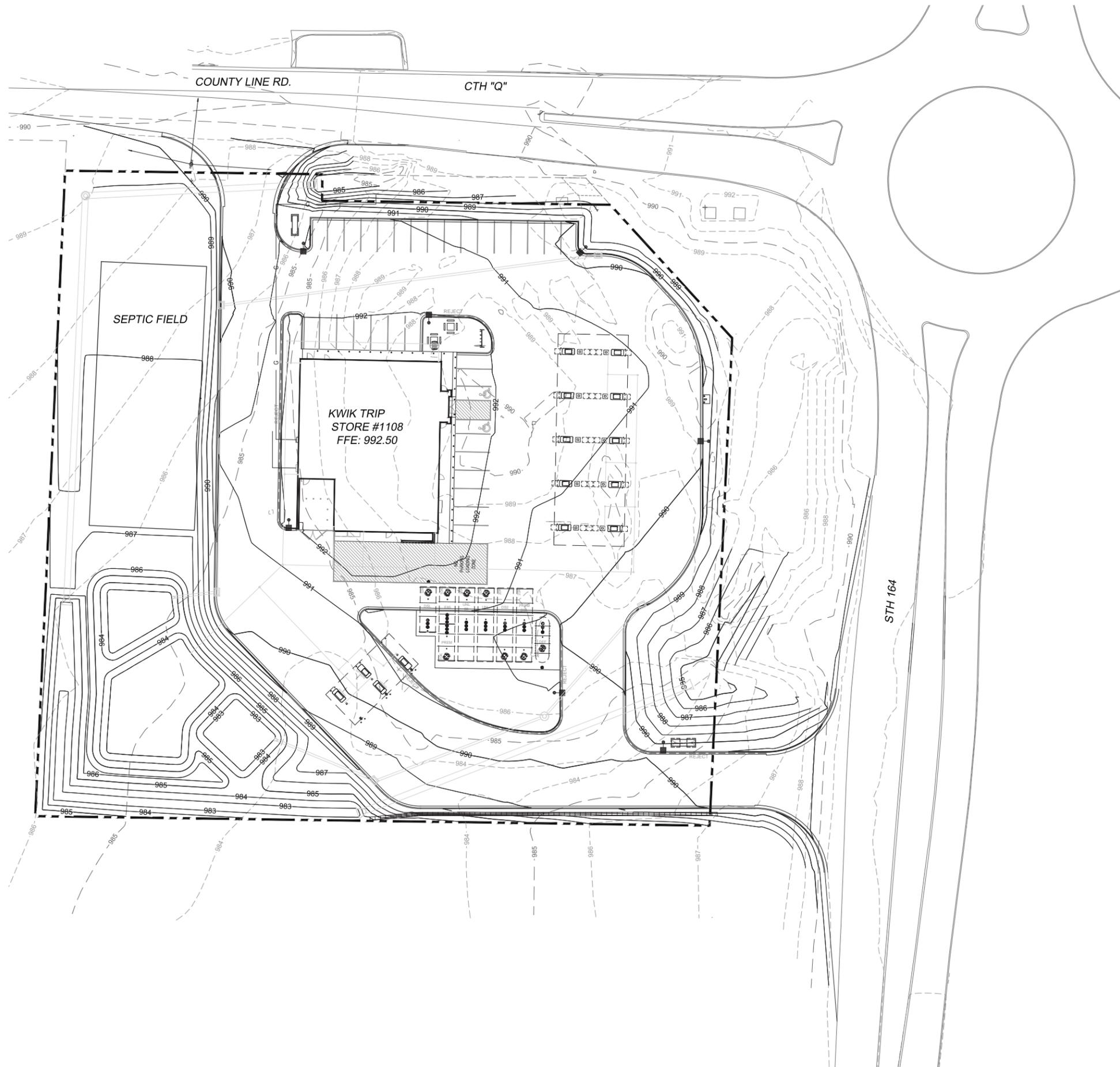


**SITE PLAN - LAYOUT**  
**CONVENIENCE STORE #1108 WITH DIESEL**  
 W260 N9579 WI-164  
 TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY S. ANDERSON / L. OLSON  
 SCALE NOTED  
 PROJ. NO. 119.1179.30  
 DATE FEBRUARY 5, 2020  
 SHEET **SP 1.1**





**NOTES:**

-ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.  
 -SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDED AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.  
 -REFER TO THE EROSION CONTROL PLAN NOTES AND DETAIL SHEETS FOR MORE INFORMATION.

CONTACT JEFF OSGOOD  
 KWIK TRIP, INC  
 PO BOX 2107  
 LACROSSE, WI 54602  
 608-793-5547

**CONSTRUCTION SEQUENCE**

- \*INSTALL EROSION/SEDIMENT CONTROL MEASURES
- \*INSTALL STORMWATER MANAGEMENT SEDIMENT BASINS
- \*INSTALL STORM SEWER
- \*INSTALL STRUCTURES
- \*INSTALL PAVEMENTS
- \*INSTALL LAWN/ LANDSCAPE
- \*FLUSH STORM SEWER
- \*REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

**NOTES:**

ENGINEER TO OBTAIN RIGHT-OF-WAY EXCAVATION PERMIT PRIOR TO BEGINNING SITE WORK.  
 CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRE CONSTRUCTION SITE. COORDINATE WITH OWNER FOR FENCING AND GATE LOCATION AND APPROPRIATE SIGNAGE LOCATION.  
 PLAN PREPARED FROM ALTA LAND TITLE SURVEY BY:  
 JOHN P. CASUCCI, PLS  
 RA SMITH  
 16745 W. BLUEMOUND ROAD  
 BROOKFIELD, WI 53005  
 262-781-1000  
 CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK NOTIFY THE OWNER OF ANY POTENTIAL CONFLICTS.  
 CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK, AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.  
 AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.  
 CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.  
 REFER TO OWNERS SPECIFICATIONS FOR CURB, APPROACH, AND CONCRETE PROFILES AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.  
 EXCAVATOR IS RESPONSIBLE FOR ALL EROSION CONTROL INSPECTIONS

**NOTE FOR GRADING CONTRACTOR:**

ANY PROPERTY IRONS THAT ARE DISTURBED IN THE GRADING PROCESS SHALL BE RESET BY A LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**  
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

  
  
 SCALE: 1" = 30'  
 PLOTTING NOTE: PLANS PLOTTED TO 11X17 SHEET SIZE ARE 1/2 SCALE - 1"=60'



KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960



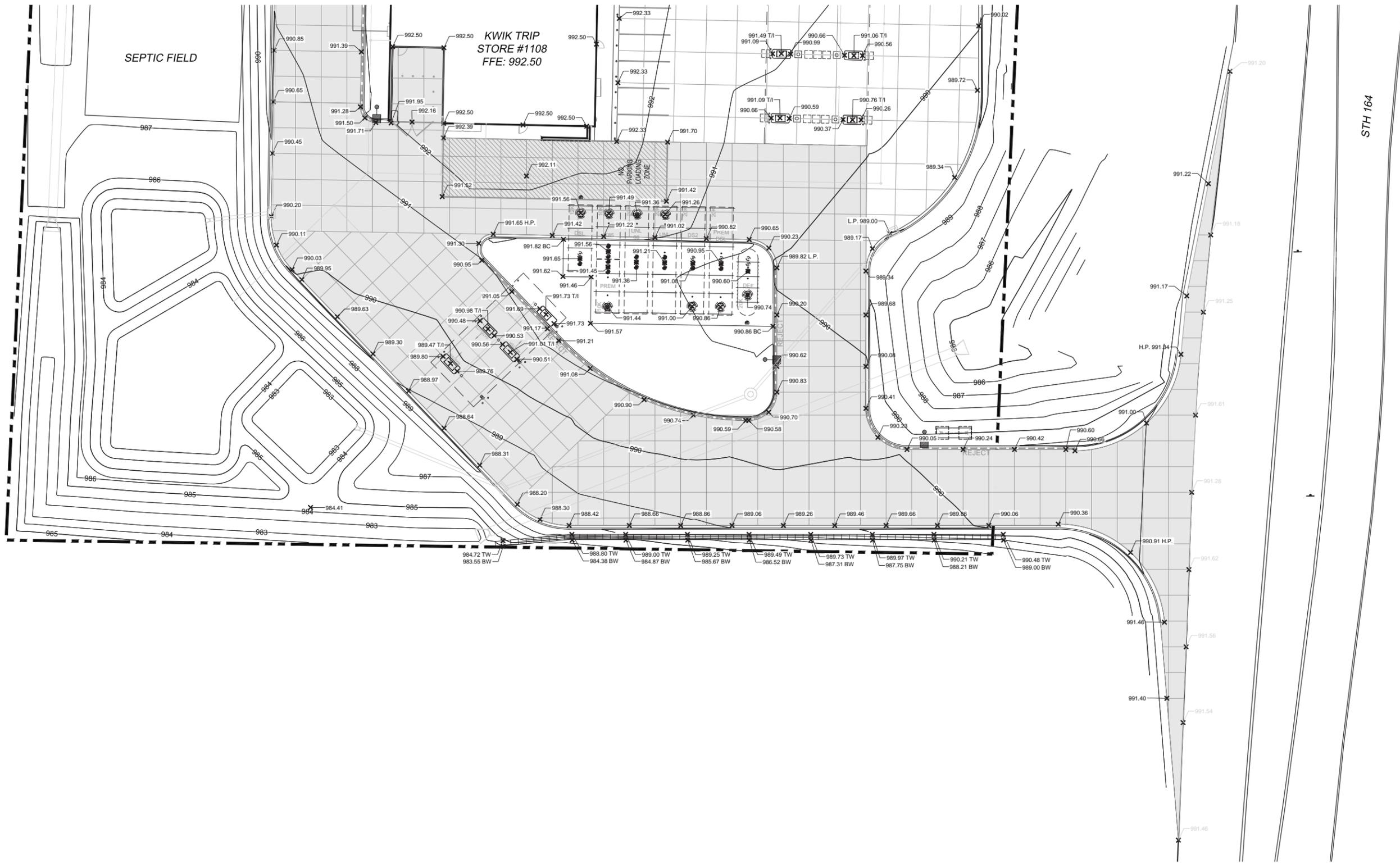
5010 VOGES ROAD  
 MADISON, WISCONSIN 53718  
 608-838-0444

**SITE GRADING**  
**CONVENIENCE STORE #1108**  
**WITH DIESEL**  
 W260 N9579 WI-164  
 TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY S. ANDERSON / L. OLSON  
 SCALE NOTED  
 PROJ. NO. 119.1179.30  
 DATE FEBRUARY 5, 2020  
 SHEET **SP 2.0**





**NOTES:**

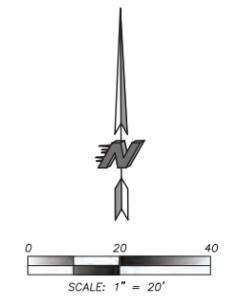
- H.P. = HIGH POINT FOR DRAINAGE
- L.P. = LOW POINT FOR DRAINAGE
- T/I = TOP OF ISLAND ELEVATION
- T/W = TOP OF WALL
- B/W = BOTTOM OF WALL
- B/C = BACK OF CURB
- ALL SPOT ELEVATIONS ARE AT THE EDGE OF PAVEMENT (FLAG OF CURB)
- HATCHED CURB AND GUTTER DEPICTS REJECT CURB LOCATIONS
- ALL LANDSCAPE AND SOD AREAS SHALL HAVE POSITIVE DRAINAGE
- CONTRACTOR SHALL PROVIDE CONTROL JOINTS, CONSTRUCTION JOINTS AND EXPANSION JOINTS IN SLAB ON GRADE, SIDEWALKS AND DRIVEWAYS.
- CONTROL JOINT MAXIMUM DISTANCE: SIDEWALKS - 8' O.C., ALL OTHERS 10' O.C.
- SAW CUT CONTROL JOINTS SHALL BE A MINIMUM OF 1/4" OF THE CONCRETE THICKNESS.
- EXPANSION JOINT MINIMUM DISTANCE: SIDEWALKS - 24' O.C., ALL OTHERS 40' O.C.
- DOVELL ALL EXPANSION JOINTS - 24" O.C.



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**

WIS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE



PLOTTING NOTE: PLANS PLOTTED TO 11X17  
 SHEET SIZE ARE 1/2" SCALE - 1"=40'



**KWIK TRIP, Inc.**  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960



**GRADING - SPOT ELEVATION PLAN**

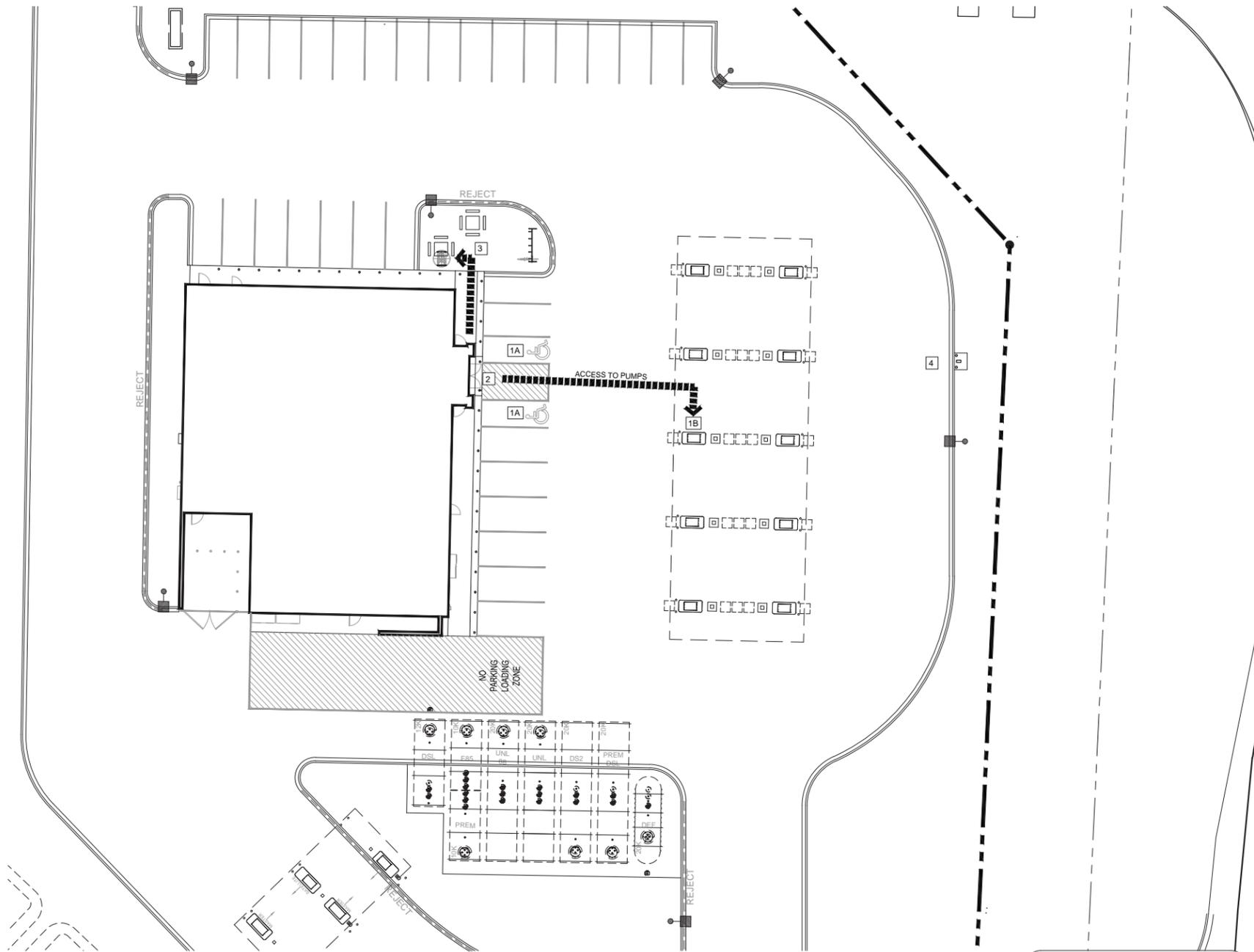
**CONVENIENCE STORE #1108 WITH DIESEL**

W260 N9579 WI-164  
 TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY	S. ANDERSON / L. OLSON
SCALE	NOTED
PROJ. NO.	119.1179.30
DATE	FEBRUARY 5, 2020
SHEET	<b>SP 2.2</b>



**NOTES FOR CONVENIENCE STORE ACCESSIBILITY**

AT LEAST 1 MPD (MULTI PRODUCT DISPENSER) COVERING ALL GRADES OF FUEL MUST BE ACCESSIBLE IN A 30"x48" CLEAR LEVEL FLOOR AREA (CLF).

ALL PUMP CONTROLS SHALL BE < 48" (2010 STANDARD). WINDOW WASHER, PAPER TOWEL DISPENSER, LITERATURE, FIRE EXTINGUISHER, EMERGENCY FUEL STOPS, ETC. BE ACCESSIBLE 30"x48" CLF SPACE AND WITHIN A FORWARD OR SIDE APPROACH REACH RANGE.

PROVIDE ISA (INDUSTRY STANDARD ARCHITECTURE) AT EACH ACCESSIBLE FUEL POSITION ON FACE OF PUMP.

PROVIDE ISA AT EACH ACCESSIBLE FUELING POSITION VISIBLE TO APPROACHING VEHICLES.

PROVIDE A SIGN AT EACH ACCESSIBLE FUELING POSITION WITH STORE TELEPHONE NUMBER, ADVISING AVAILABLE FUELING ASSISTANCE.

ANY PAY FUNCTION- i.e. AIR/VACUUM etc. ARE REQUIRED TO HAVE AN ACCESSIBLE ROUTE TO STORE ENTRANCE. CONTROLS SHALL BE ACCESSIBLE 30"x48" CLF SPACE AND WITHIN A FORWARD OR SIDE APPROACH REACH RANGE.

**NOTES:**

-REFER TO THE DOCUMENT FROM THE DEPARTMENT OF JUSTICE ON \*2010 ADA STANDARDS FOR ACCESSIBLE DESIGN\*. CONTRACTOR SHALL REFERENCE CURRENT A.D.A. GUIDELINES AND LOCAL REGULATIONS FOR SITE ACCESSIBILITY. IN ALL CASES THE MINIMUM REQUIREMENTS SHALL BE PROVIDED ON SITE TO ENSURE COMPLIANCE TO ALL REGULATIONS.

- KWIK TRIP STANDARD ENTRANCE DOOR IS AUTOMATIC SLIDING DOOR SYSTEM DESIGNED TO COMPLY WITH ALL ACCESS CODES AND LAWS. ENTRANCE DOORS FOR ACCESSIBLE ROUTES WILL HAVE A MINIMUM CLEAR OPENING OF 32"

-STORE FRONTS WILL PROVIDE FLUSH PAVEMENTS ALONG ACCESSIBLE ROUTES WITH PROTECTIVE SECURITY BOLLARDS INDICATED AND SPACED BETWEEN PARKING SURFACES AND BUILDING WALK PER PLAN.

-NO OBJECTS OR DISPLAYS SHOULD PROTRUDE INTO THE MINIMUM CLEAR SPACE OF THE ACCESSIBLE ROUTES TO THE STORE ENTRANCE. THIS WILL INCLUDE SEASONAL DISPLAY VENDING AREAS AS WELL AS OTHER OUTDOOR STORAGE UNITS FOR PROPANE AND ICE, ETC.

-PER A.D.A. GUIDELINES- CLEAR WIDTH OF ACCESSIBLE ROUTES SHALL BE 36" AND PERMITTED TO BE REDUCED TO 32" FOR A LENGTH OF 24".

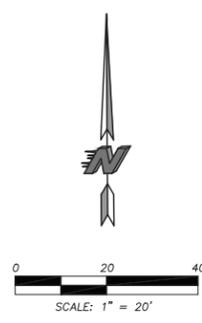
- ACCESS ISLES SERVING WHEEL CHAIR LIFTS OR CHAIR ACCESS FROM VEHICLES ARE REQUIRED TO BE NEARLY LEVEL IN ALL DIRECTIONS TO PROVIDE SAFE TRANSFER OF WHEELCHAIRS TO AND FROM VEHICLES. THE EXCEPTION WOULD BE FOR DRAINAGE. MAXIMUM SLOPE FOR THE ACCESS ISLE IS 1:48. NO CURB RAMPS SHALL BE A PART OF THE ACCESS ISLE.

-IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY WITH THE DESIGNATION OF 1 "VAN ACCESSIBLE" IN EVERY 8 ACCESSIBLE SPACES ON SITE.

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**

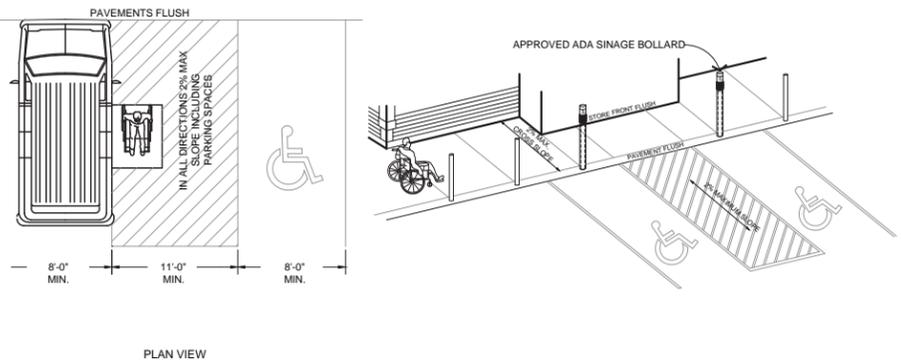
WS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.



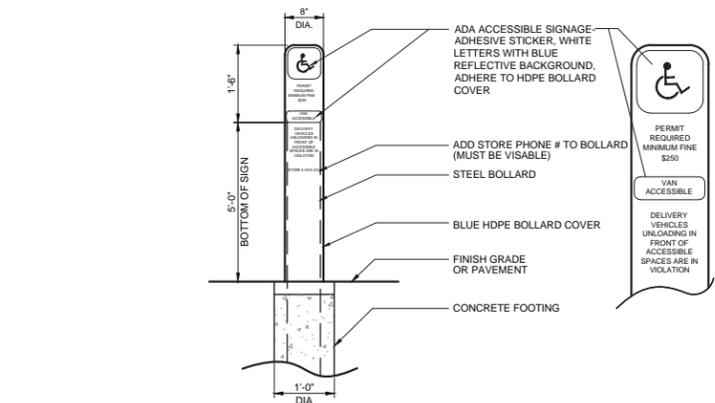
PLOTTING NOTE: PLANS PLOTTED TO 11X17 SHEET SIZE ARE 1/2 SCALE - 1"=40'

**PLAN KEYNOTES**

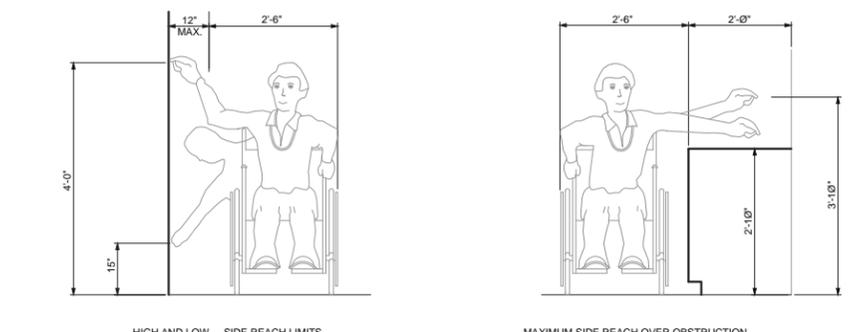
- ACCESSIBLE STALLS
  - STRIPING - 4' WIDE STALL LINES, USE HIGH VISIBILITY BLUE PAINT. SPACES PROVIDED:
  - 8'-0"x 20'-0" ACCESSIBLE PARKING WITH (1) 11'-0"x 20'-0" LOADING ZONE (MIN.)
- ACCESSIBLE FUELING POINT AND DISPENSER AND VALET. VALET AND KEY PAD ON PUMP SHALL CONFORM TO ADA REACH DIMENSIONS AS SHOWN IN DETAIL.
- PAVEMENTS FLUSH FOR ACCESSIBILITY INTO BUILDING.
- PICNIC TABLE WITH ACCESSIBLE PLACEMENT
- ACCESSIBLE ROUTE TO AIR STATION



**1 VAN ACCESSIBLE PARKING**  
 SP2.2 NOT TO SCALE



**2 ADA BOLLARD SIGNAGE**  
 SP2.2 NOT TO SCALE



**3 ACCESSIBLE REACH DIMENSIONS**  
 SP2.2 NOT TO SCALE



KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960



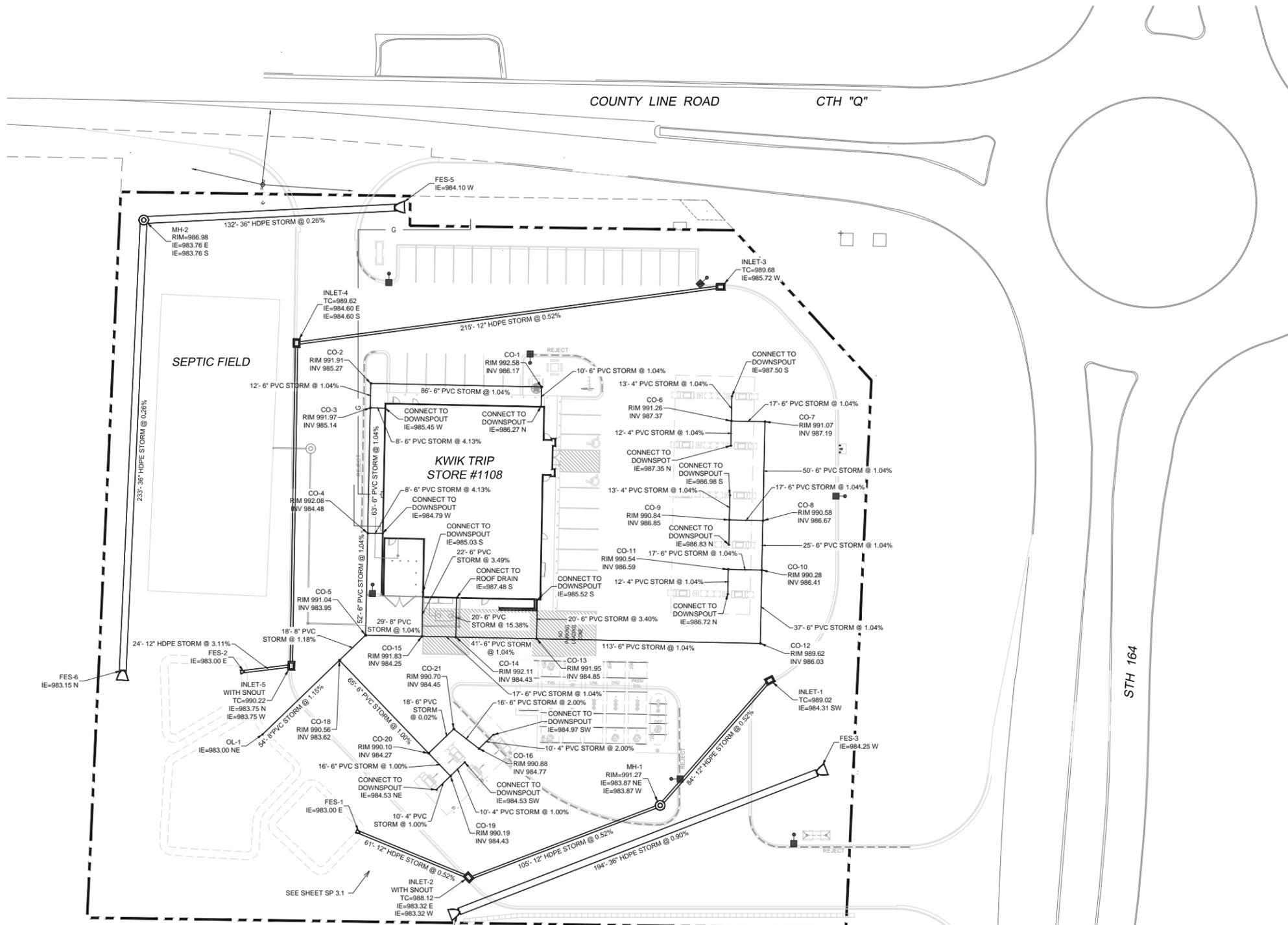
**ACCESSIBLE PLAN**

**CONVENIENCE STORE #1108 WITH DIESEL**

W260 N9579 WI-164  
 TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

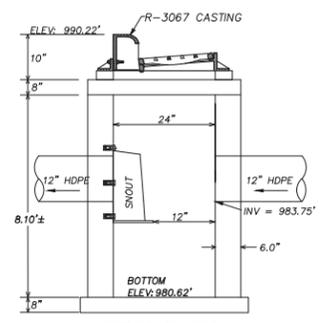
DRAWN BY: S. ANDERSON / L. OLSON  
 SCALE: NOTED  
 PROJ. NO.: 119.1179.30  
 DATE: FEBRUARY 5, 2020  
 SHEET: **SP 2.3**



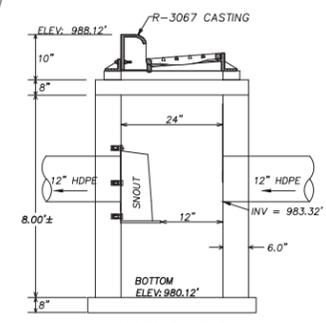
**STORM DRAINAGE:**

- UNLESS OTHERWISE INDICATED, USE REINFORCED, PRECAST, CONCRETE MAINTENANCE HOLES AND CATCHBASINS CONFORMING TO ASTM C478. FURNISHED WITH WATER STOP RUBBER GASKETS AND PRECAST BASES. JOINTS FOR ALL PRECAST MAINTENANCE HOLE SECTIONS SHALL HAVE CONFINED, RUBBER "O"-RING GASKETS IN ACCORDANCE WITH ASTM C923. THE INSIDE BARREL DIAMETER SHALL NOT BE LESS THAN 48 INCHES.
- ALL JOINTS AND CONNECTIONS TO CATCHBASINS OR MANHOLES SHALL BE WATERTIGHT. USE RESILIENT RUBBER SEALS, WATERSTOP GASKETS, OR APPROVED EQUAL. CEMENT MORTAR JOINTS ARE NOT ALLOWED.
- INSTALL CATCHBASIN CASTINGS WITH SPECIFIED TOP ELEVATION AT THE FRONT RIM.
- USE HDPE SOLID WALL PIPE WHEN CALLED OUT ON THE PLANS.
- PVC PIPE: USE SOLID-CORE, SDR-35, ASTM D3034 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 4 TO 15-INCHES IN DIAMETER. USE SOLID-CORE, SDR36, ASTM F699 POLYVINYL CHLORIDE (PVC) PIPE FOR DESIGNATED PVC STORM SEWER SERVICES 18 TO 27-INCHES IN DIAMETER. JOINTS FOR ALL STORM SEWER SHALL HAVE PUSH-ON JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND CEMENT. PIPE WITH SOLVENT CEMENT JOINTS SHALL BE JOINED WITH PVC CEMENT CONFORMING TO ASTM D2564. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2321.
- TESTING: TEST ALL PORTIONS OF STORM SEWER THAT ARE WITHIN 10 FEET OF BUILDINGS, WITHIN 10 FEET OF BURIED WATER LINES, WITHIN 50 FEET OF WATER WELLS, OR THAT PASS THROUGH SOIL OR WATER IDENTIFIED AS BEING CONTAMINATED. TEST ALL FLEXIBLE STORM SEWER LINES FOR DEFLECTION AFTER THE SEWER LINE HAS BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND RETEST.
- INSTALL DETECTABLE UNDERGROUND MARKING TAPE DIRECTLY ABOVE ALL PVC, POLYETHYLENE, AND OTHER NONCONDUCTIVE UNDERGROUND UTILITIES AT A DEPTH OF 457 MM (18 INCHES) BELOW FINISHED GRADE, UNLESS OTHERWISE INDICATED. BRING THE TAPE TO THE SURFACE AT VARIOUS LOCATIONS IN ORDER TO PROVIDE CONNECTION POINTS FOR LOCATING UNDERGROUND UTILITIES. INSTALL BLUE RHINO TRIVIEW FLEX TEST STATIONS, OR APPROVED EQUAL, WITH BLACK CAPS AT EACH SURFACE LOCATION.
- TRACER WIRE: LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2)(R) OF THE STATUTES.
- THE MINIMUM DEPTH OF COVER FOR BUILDING AND CANOPY ROOF DRAIN LEADERS WITHOUT INSULATION IS 5 FEET. INSULATE ROOF DRAIN LEADERS AT LOCATIONS WHERE THE DEPTH OF COVER IS LESS THAN 5 FEET. PROVIDE A MINIMUM INSULATION THICKNESS OF 2 INCHES. THE INSULATION MUST BE AT LEAST 4 FEET WIDE AND CENTERED ON THE PIPE. INSTALL THE INSULATION BOARDS 6 INCHES ABOVE THE TOPS OF THE PIPES ON MECHANICALLY COMPACTED AND LEVELED PIPE BEDDING MATERIAL. USE HIGH DENSITY, CLOSED CELL, RIGID BOARD MATERIAL EQUIVALENT TO DOW STYROFOAM HI-40 PLASTIC FOAM INSULATION.
- CLEANOUTS: INSTALL CLEANOUTS ON ALL ROOF DRAINS IN ACCORDANCE WITH S.P.S. 382.35 (3)(C)(1). THE DISTANCE BETWEEN CLEANOUTS IN HORIZONTAL PIPING SHALL NOT EXCEED 100 FEET FOR PIPES 10-INCHES AND UNDER IN SIZE. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPES THEY SERVE. INSTALL A METER BOX FRAME AND SOLID LID (NEENAH R-1914-A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
- INSTALL ALL PIPE WITH THE ASTM IDENTIFICATION NUMBERS ON THE TOP FOR INSPECTION. COMMENCE PIPE LAYING AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. LAY THE PIPE WITH THE BELL END OR RECEIVING GROOVE END OF THE PIPE POINTING UPGRADE. WHEN CONNECTING TO AN EXISTING PIPE, UNCOVER THE EXISTING PIPE IN ORDER TO ALLOW ANY ADJUSTMENTS IN THE PROPOSED LINE AND GRADE BEFORE LAYING ANY PIPE. DO NOT LAY PIPES IN WATER OR WHEN THE TRENCH CONDITIONS ARE UNSUITABLE FOR SUCH WORK.

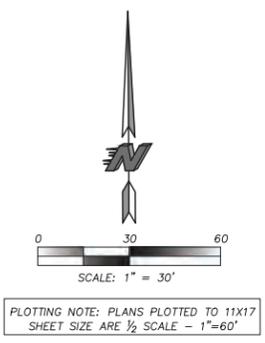
STRUCTURE TABLE				
STRUCT #	RIM EL	STRUCT TYPE	INVERTS IN	INVERTS OUT
CO-1	992.58	6" CLEANOUT	INV S = 986.17	INV W = 986.17
CO-2	991.91	6" CLEANOUT	INV E = 985.27	INV S = 985.27
CO-3	991.97	6" CLEANOUT	INV N = 985.14	INV S = 985.14
CO-4	992.08	6" CLEANOUT	INV N = 984.48	INV S = 984.48
CO-5	991.04	6" CLEANOUT	INV N = 983.95	INV SW = 983.95
CO-6	991.26	6" CLEANOUT	INV N = 987.37	INV E = 987.37
CO-7	991.07	6" CLEANOUT	INV W = 987.19	INV S = 987.19
CO-8	990.58	6" CLEANOUT	INV N = 986.67	INV S = 986.67
CO-9	990.84	6" CLEANOUT	INV N = 986.85	INV E = 986.85
CO-10	990.28	6" CLEANOUT	INV N = 986.41	INV S = 986.41
CO-11	990.54	6" CLEANOUT	INV S = 986.59	INV E = 986.59
CO-12	989.62	6" CLEANOUT	INV N = 986.03	INV W = 986.03
CO-13	991.95	6" CLEANOUT	INV E = 984.85	INV W = 984.85
CO-14	992.11	6" CLEANOUT	INV E = 984.43	INV W = 984.43
CO-15	991.83	6" CLEANOUT	INV E = 984.25	INV W = 984.25
CO-16	990.88	6" CLEANOUT	INV NE = 984.77	INV NW = 984.77
CO-18	990.56	8" CLEANOUT	INV NE = 983.73	INV SW = 983.62
CO-19	990.19	6" CLEANOUT	INV NE = 984.43	INV NW = 984.43
CO-20	990.10	6" CLEANOUT	INV SE = 984.27	INV NW = 984.27
CO-21	990.70	6" CLEANOUT	INV SE = 984.45	INV SW = 984.45
FES-1	984.11	12" FES	INV E = 983.00	
FES-2	984.11	12" FES	INV E = 983.00	
FES-3	987.46	36" FES		INV W = 984.25
FES-4	985.72	36" FES	INV E = 982.50	
FES-5	987.32	36" FES		INV W = 984.10
FES-6	986.36	36" FES	INV N = 983.15	
INLET-1	989.02	2X3 INLET		INV SW = 984.31
INLET-2	988.12	2X3 INLET WITH 18" SNOUT	INV E = 983.32	INV W = 983.32
INLET-3	989.68	2X3 INLET		INV W = 985.72
INLET-4	989.62	2X3 INLET	INV E = 984.60	INV S = 984.60
INLET-5	990.22	2X3 INLET WITH 18" SNOUT	INV N = 983.75	INV W = 983.75
MH-1	991.27	48" DIA MH	INV NE = 983.87	INV W = 983.87
MH-2	986.98	48" DIA MH	INV E = 983.76	INV S = 983.76
OL-1	983.68	6" OUTLET	INV NE = 983.00	



**ST-5**  
2' X 3' -INLET  
WITH OIL SKIMMER



**ST-2**  
2' X 3' -INLET  
WITH OIL SKIMMER



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**  
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

**NOTE:**  
CURB INLET STRUCTURES (INTAKES) RIM ELEVATION REFERS TO TOP OF CURB (T/C).



KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

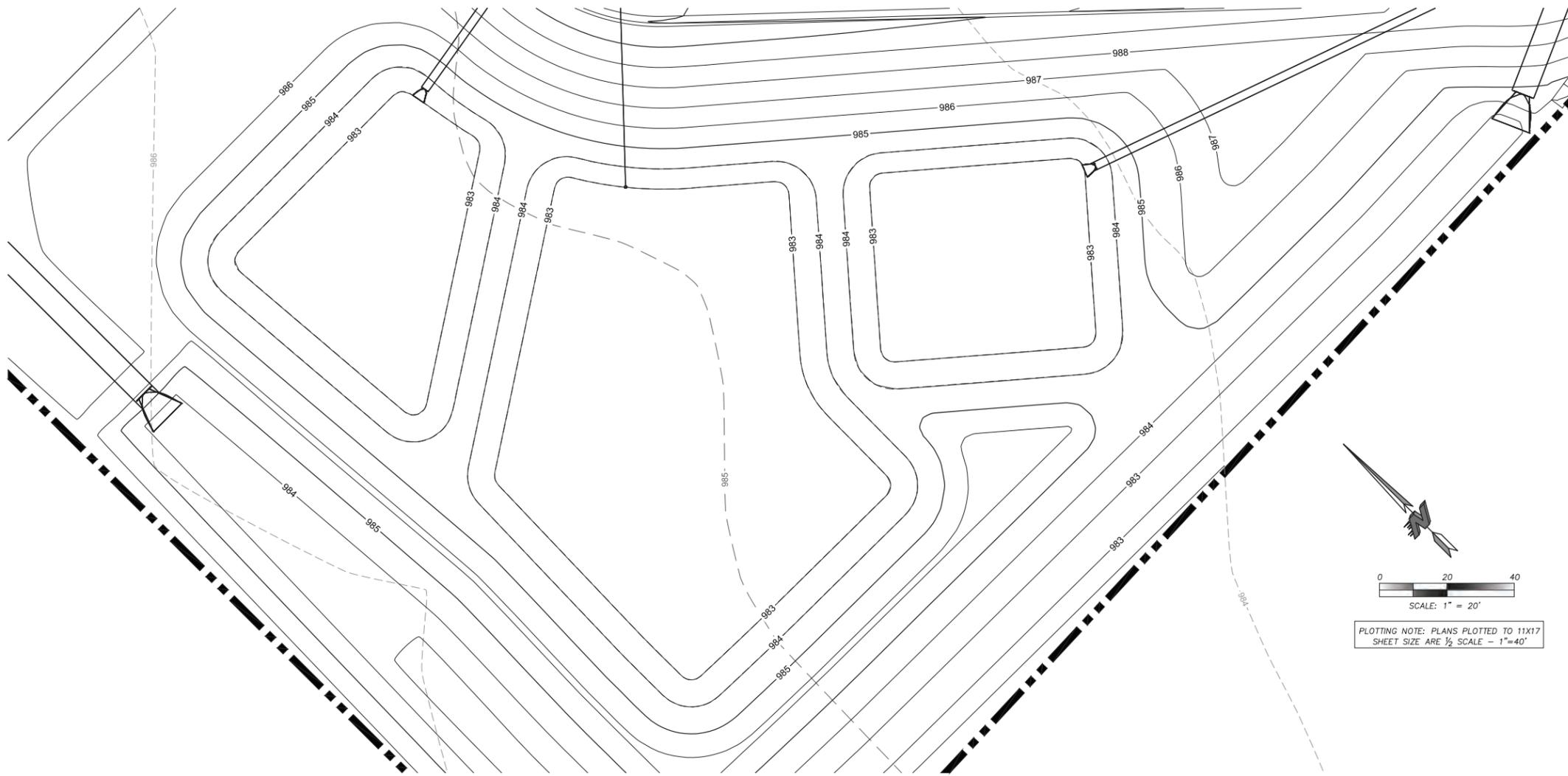


5010 VOGES ROAD  
 MADISON, WISCONSIN 53718  
 608-838-0444

**STORM SEWER PLAN**  
**CONVENIENCE STORE #1108**  
**WITH DIESEL**  
 W260 N9579 WI-164  
 TOWN OF LISBON, WISCONSIN

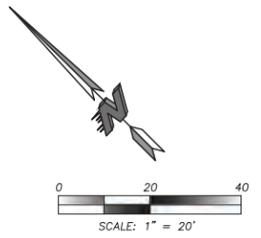
#	DATE	DESCRIPTION

DRAWN BY: S. ANDERSON / L. OLSON  
 SCALE: NOTED  
 PROJ. NO.: 119.1179.30  
 DATE: FEBRUARY 5, 2020  
 SHEET: **SP 3.0**

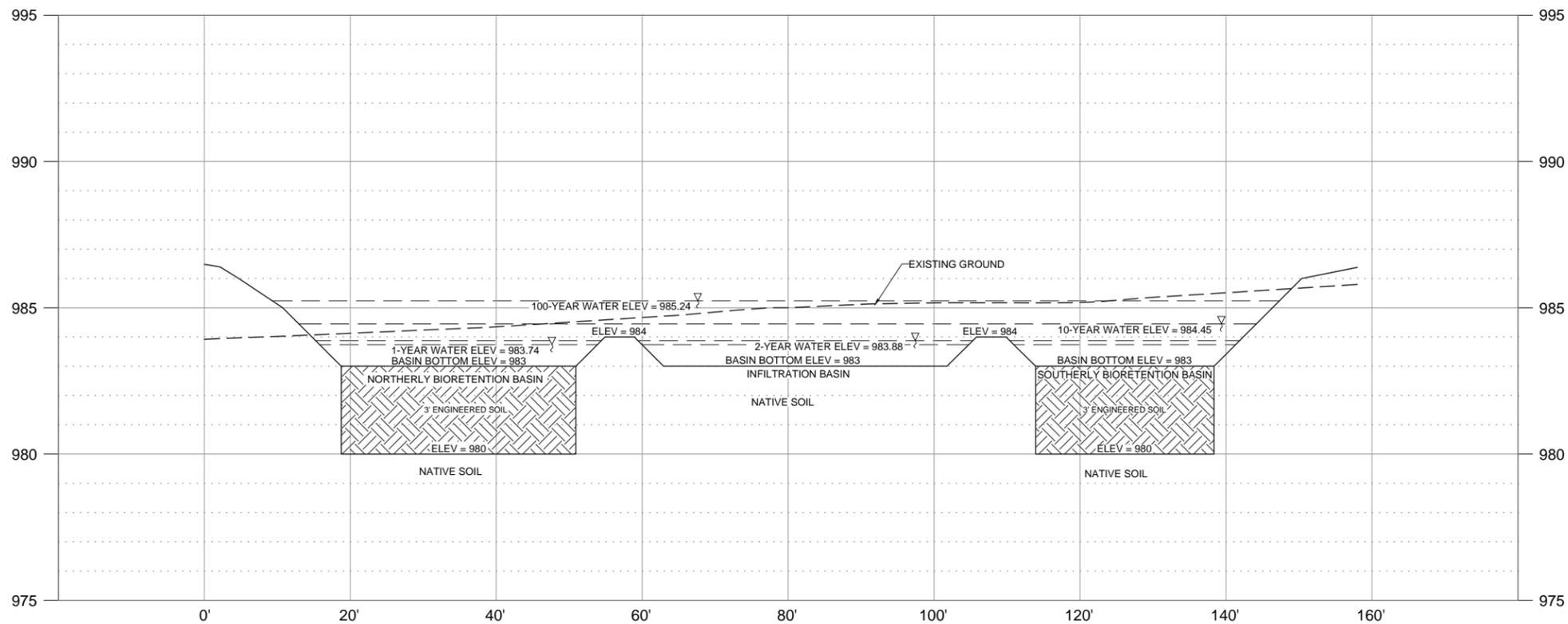


SOIL BORING B-4  
ELEV=985.19  
(ELEV=94.6 )

984.19 (93.60)	0.04	SICL
983.19 (92.60)	0.04	SICL
978.69 (88.10)	3.60	S
970.19 (79.60)	3.60	S
		END BORING



PLOTTING NOTE: PLANS PLOTTED TO 11X17  
SHEET SIZE ARE 1/2 SCALE - 1"=40'



 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**

WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

**KWIK  
TRIP**

**KWIK  
STAR**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

  
**SNYDER  
& ASSOCIATES**  
5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444

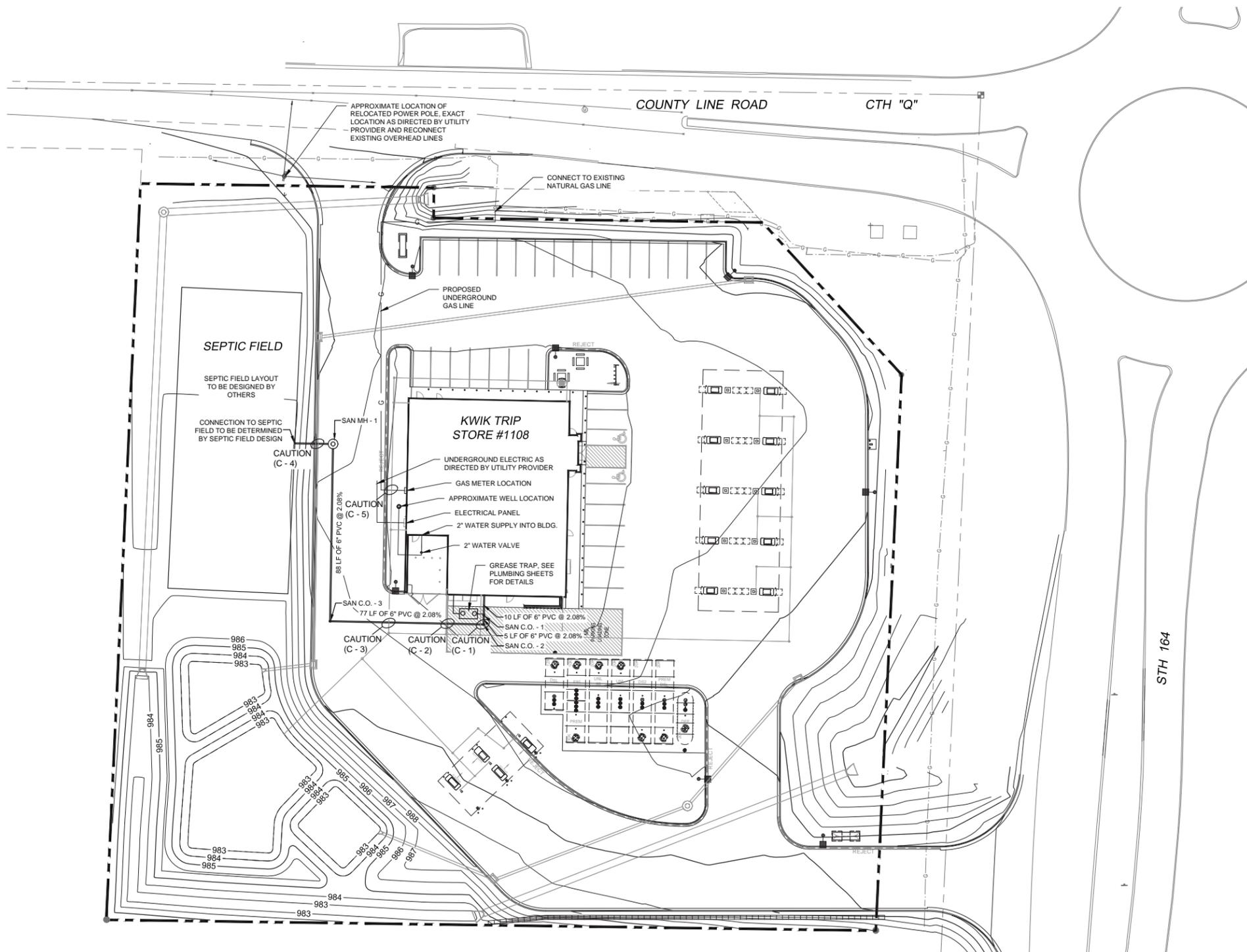
STORM WATER BASIN PLAN

CONVENIENCE STORE #1108  
WITH DIESEL

W260 N9579 WI-164  
TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY S. ANDERSON / L. OLSON  
SCALE NOTED  
PROJ. NO. 119.1179.30  
DATE FEBRUARY 5, 2020  
SHEET **SP 3.1**



**WATER DISTRIBUTION SYSTEM:**

- BRING ALL SITE UTILITIES TO 5' OUTSIDE OF THE BUILDING LINE WITH THE EXCEPTION OF THE WATER SERVICE. EXTEND WATER SERVICE INTO THE BUILDING AND UP TO THE FLANGE FOR THE WATER METER.
- SEPARATION OF WATER AND SEWER:** PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET BETWEEN ALL WATER AND SEWER LINES. PROVIDE A MINIMUM SEPARATION OF 18 INCHES AT ALL WATER LINE AND SEWER LINE CROSSINGS.
- WATERMAIN DEPTH:** MAINTAIN 7.0 FEET OF COVER OVER THE TOP OF THE WATER LINES TO THE FINISHED GRADE. VERIFY ELEVATION OF PROPOSED AND EXISTING WATER LINES AT ALL UTILITY CROSSINGS. INSTALL THE WATER LINES AT GREATER DEPTHS IN ORDER TO CLEAR STORM SEWERS, SANITARY SEWERS, OR OTHER UTILITIES AS REQUIRED. INCLUDE COSTS TO LOWER WATER LINES IN THE BASE BID.
- TESTING:** PRESSURE TEST AND PERFORM BACTERIOLOGICAL TESTS ON ALL WATER LINES UNDER THE SUPERVISION OF THE CITY OF SUSSEX. NOTIFY THE VILLAGE AT LEAST 24 WORKING HOURS PRIOR TO ANY TESTING. PRESSURIZE THE WATERLINE TO 1034-KPA (150-PSI) GAUGE PRESSURE (MEASURED AT THE POINT OF LOWEST ELEVATION) BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A SATISFACTORY MANNER. MAINTAIN THE TEST PRESSURE FOR A MINIMUM OF 2 HOURS. DO NOT ADD WATER TO THE WATERMAIN IN ORDER TO MAINTAIN THE REQUIRED PRESSURE DURING THE WATER MAIN PRESSURE TESTING. THE TEST SECTION OF PIPE IS ACCEPTABLE WITH A PRESSURE DROP OF 14 KPA (2 PSI) OR LESS.
- USE MECHANICAL JOINT RESTRAINT DEVICES FOR JOINT RESTRAINT ON ALL WATERMAIN BENDS HAVING A VERTICAL OR HORIZONTAL DEFLECTION OF 22-1/2 DEGREES OR GREATER, ALL VALVES, STUBS, EXTENSIONS, TEES, CROSSES, PLUGS, ALL HYDRANT VALVES, AND ALL HYDRANTS IN ACCORDANCE WITH CITY REQUIREMENTS. USE "SERIES 1100 MEGALUG" MANUFACTURED BY EBL IRON INC., EASTLAND, TEXAS, OR APPROVED EQUAL, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS FOR RESTRAINT ON DUCTILE IRON PIPE.
- AT ALL VALVE LOCATIONS WHICH REQUIRE A 12" OR SMALLER VALVE, INSTALL GATE VALVES WHICH ARE OF THE COMPRESSION RESILIENT SEATED (CRS) TYPE. USE AMERICAN FLOW CONTROL'S SERIES 2500 DUCTILE IRON RESILIENT WEDGE GATE VALVE, OR APPROVED EQUAL. GATE VALVES SHALL CONFORM TO AWWA C908. INSTALL CAST IRON VALVE BOXES CONFORMING TO ASTM A88 AT EACH VALVE LOCATION. VALVE BOXES SHALL BE THE THREE-PIECE TYPE WITH 5-1/4" SHAFTS. USE TYLER 6880-G WITH NO. 6 BASE, OR EQUIVALENT. VALVE BOXES SHALL HAVE AT LEAST 6" OF ADJUSTMENT ABOVE AND BELOW FINISHED GRADE. DROP COVERS ON VALVE BOXES SHALL BE ROUND AND BEAR THE WORD "WATER" CAST ON THE TOP. USE TYLER 6880-G "STAYPUT" COVERS WITH EXTENDED SKIRT, OR EQUIVALENT.
- USE MUELLER H 10300 OR FORD EM 2 7057, OR APPROVED EQUAL, AT ALL CURB STOP LOCATIONS. STATIONARY ROD IS REQUIRED ON ALL CURB STOPS.
- WATERMAIN AND LATERALS 4" OR LARGER FOR THE SITE SHALL BE CLASS 52 DUCTILE IRON THAT CONFORM TO THE REQUIREMENTS OF AMERICAN NATIONAL STANDARD FOR DUCTILE IRON PIPE, CENTRIFUGALLY CAST, FOR WATER (ANSI/AWWA C151/A21.51 - LATEST REVISION). PIPE SHALL BE CEMENT LINED, PUSH-ON JOINT, AND BONDING STRAPS TO PROVIDE ELECTRICAL CONDUCTIVITY WITHOUT FIELD WELDING. ALL COMPONENTS SHALL CONFORM WITH CITY OF SUSSEX STANDARD SPECIFICATIONS.
- WHERE EXISTING GAS, ELECTRIC, CABLE, OR TELEPHONE UTILITIES CONFLICT WITH THE WORK, COORDINATE THE ABANDONMENT, RELOCATION, OFFSET, OR SUPPORT OF THE EXISTING UTILITIES WITH THE APPROPRIATE LOCAL UTILITY COMPANIES. COORDINATE NEW GAS METERS AND GAS LINE INSTALLATION, ELECTRIC METER AND ELECTRIC SERVICE INSTALLATION, CABLE SERVICE, AND TELEPHONE SERVICE INSTALLATION WITH THE LOCAL UTILITY COMPANIES.
- COORDINATE BUILDING UTILITY CONNECTION LOCATIONS AT 5 FT. OUT FROM THE PROPOSED BUILDING WITH THE WITH THE INTERIOR PLUMBING CONTRACTOR PRIOR TO CONSTRUCTION. VERIFY WATER AND SEWER SERVICE LOCATIONS AND ELEVATIONS WITH THE MECHANICAL ENGINEER PRIOR TO CONSTRUCTION.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE FROM RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING UTILITIES ARE SHOWN OR, IF SHOWN, EXIST IN THE LOCATIONS INDICATED ON THE PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE FINAL VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES (INCLUDING WATER AND SEWER LINES AND APPURTENANCES). NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

**SANITARY SEWER:**

- PIPE:** USE SOLID-CORE, SDR-35, ASTM D3034 (OR APPROVED EQUAL) POLYVINYL CHLORIDE (PVC) PLASTIC PIPE FOR ALL DESIGNATED PVC SANITARY SEWER SERVICES. JOINTS FOR ALL SANITARY SEWER SHALL HAVE PUSH-ON JOINTS WITH ELASTOMERIC GASKETS. USE OF SOLVENT CEMENT JOINTS IS ALLOWED FOR BUILDING SERVICES. SOLVENT CEMENT JOINTS IN PVC PIPE MUST INCLUDE USE OF A PRIMER WHICH IS OF CONTRASTING COLOR TO THE PIPE AND CEMENT. PIPE WITH SOLVENT CEMENT JOINTS SHALL BE JOINED WITH PVC CEMENT CONFORMING TO ASTM D2564. LAY ALL PVC PIPE ON A CONTINUOUS GRANULAR BED. INSTALLATION MUST COMPLY WITH ASTM D2321.
- CLEANOUTS:** INSTALL CLEANOUTS ON ALL SANITARY SEWER SERVICES. THE DISTANCE BETWEEN CLEANOUTS IN HORIZONTAL PIPING SHALL NOT EXCEED 100 FEET FOR PIPES 4-INCH AND OVER IN SIZE. CLEANOUTS SHALL BE OF THE SAME NOMINAL SIZE AS THE PIPES THEY SERVE. INCLUDE FROST SLEEVES AND CONCRETE FRAME AND PIPE SUPPORT. INSTALL A METER BOX FRAME AND SOLID LID (NEENAH R-1914-A, OR APPROVED EQUAL) OVER ALL CLEANOUTS.
- TESTING:** PRESSURE TEST ALL SANITARY SEWER LINES. TEST ALL FLEXIBLE SANITARY SEWER LINES FOR DEFLECTION AFTER THE SEWER LINE HAS BEEN INSTALLED AND BACKFILL HAS BEEN IN PLACE FOR AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE TEST FAILS, MAKE NECESSARY REPAIRS AND RETEST.
- UNLESS OTHERWISE INDICATED, USE REINFORCED, PRECAST, CONCRETE MAINTENANCE HOLES CONFORMING TO ASTM C478, FURNISHED WITH PRECAST BASES. SANITARY SEWER MAINTENANCE HOLES SHALL BE SUPPLIED WITH PRE-FORMED INVERTS AND FLEXIBLE NEOPRENE SLEEVE CONNECTIONS FOR ALL LATERAL LINES 375 MM (15 INCHES) IN DIAMETER OR LESS, UNLESS OTHERWISE INDICATED. JOINTS FOR ALL PRECAST MAINTENANCE HOLE SECTIONS SHALL HAVE CONFINED, RUBBER "O"-RING GASKETS IN ACCORDANCE WITH ASTM C923. THE INSIDE BARREL DIAMETER SHALL NOT BE LESS THAN 48 INCHES.
- INSTALL FLEXIBLE WATERTIGHT FRAME/CHIMNEY SEALS ON ALL SANITARY SEWER MAINTENANCE HOLES. USE EITHER MANUFACTURED MAINTENANCE HOLE FRAME/CHIMNEY SEALS OR ELASTOMERIC WATERPROOFING FRAME/CHIMNEY SEALS.
- USE NEENAH FOUNDRY CO. R-1642 CASTING WITH SELF-SEALING, SOLID, TYPE B LID, OR APPROVED EQUAL, ON ALL SANITARY SEWER MAINTENANCE HOLES. COVERS SHALL BEAR THE "SANITARY SEWER" LABEL.
- THE MINIMUM DEPTH OF COVER FOR SANITARY SEWER WITHOUT INSULATION IS 5 FEET. INSULATE SANITARY SEWER SERVICES AT LOCATIONS WHERE THE DEPTH OF COVER IS LESS THAN 5 FEET. PROVIDE A MINIMUM INSULATION THICKNESS OF 2 INCHES. THE INSULATION MUST BE AT LEAST 4 FEET WIDE AND CENTERED ON THE PIPE. INSTALL THE INSULATION BOARDS 6 INCHES ABOVE THE TOPS OF THE PIPES ON MECHANICALLY COMPACTED AND LEVELED PIPE BEDDING MATERIAL. USE HIGH DENSITY, CLOSED CELL, RIGID BOARD MATERIAL EQUIVALENT TO DOW STYROFOAM HI-40 PLASTIC FOAM INSULATION.
- TRACER WIRE:** LOCATING REQUIREMENTS - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THE WISCONSIN STATUTES 182.0175(2R) AND THE WISCONSIN DEPARTMENT OF COMMERCE COMM 82.30(11)(H).

SANITARY SEWER STRUCTURE SCHEDULE					
STRUCT #	CASTING	STRUCT TYPE	RIM EL.	INV. EL.	DEPTH
SAN C.O. - 1	NONE	6" CLEANOUT	992.30	987.77	4.53'
SAN C.O. - 2	NONE	6" CLEANOUT	992.21	987.67	4.54'
SAN C.O. - 3	NONE	6" CLEANOUT	990.66	986.08	4.58'
SAN MH - 1	R-1500 SOLID LID	48" DIA CONC. MH	990.73	984.24	6.49'

CRITICAL UTILITY CROSSING TABLE			
CROSSING NUMBER	INVERT OF TOP PIPE	TOP OF BOTTOM PIPE	CLEARANCE
C - 1	SS = 987.15 ±	ST = 985.75 ±	1.40'
C - 2	SS = 986.79 ±	ST = 984.85 ±	1.94'
C - 3	SS = 986.20 ±	ST = 984.51 ±	1.69'
C - 4	SS = UNK	ST = 984.32 ±	--
C - 5	G = 990.48 ±	ST = 985.18 ±	5.30'

NOTE:  
CONTRACTOR SHALL MAINTAIN APPROPRIATE SEPARATION PER WISCONSIN STANDARDS BETWEEN UTILITIES.

SS = SANITARY SEWER  
ST = STORM SEWER  
G = NATURAL GAS

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**  
WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

  
  
SCALE: 1" = 30'  
PLOTING NOTE: PLANS PLOTTED TO 11X17  
SHEET SIZE ARE 1/2 SCALE - 1"=60'

**Kwik Trip**

**Kwik Star**

**KWIK TRIP, Inc.**  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**SNYDER & ASSOCIATES**  
5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444

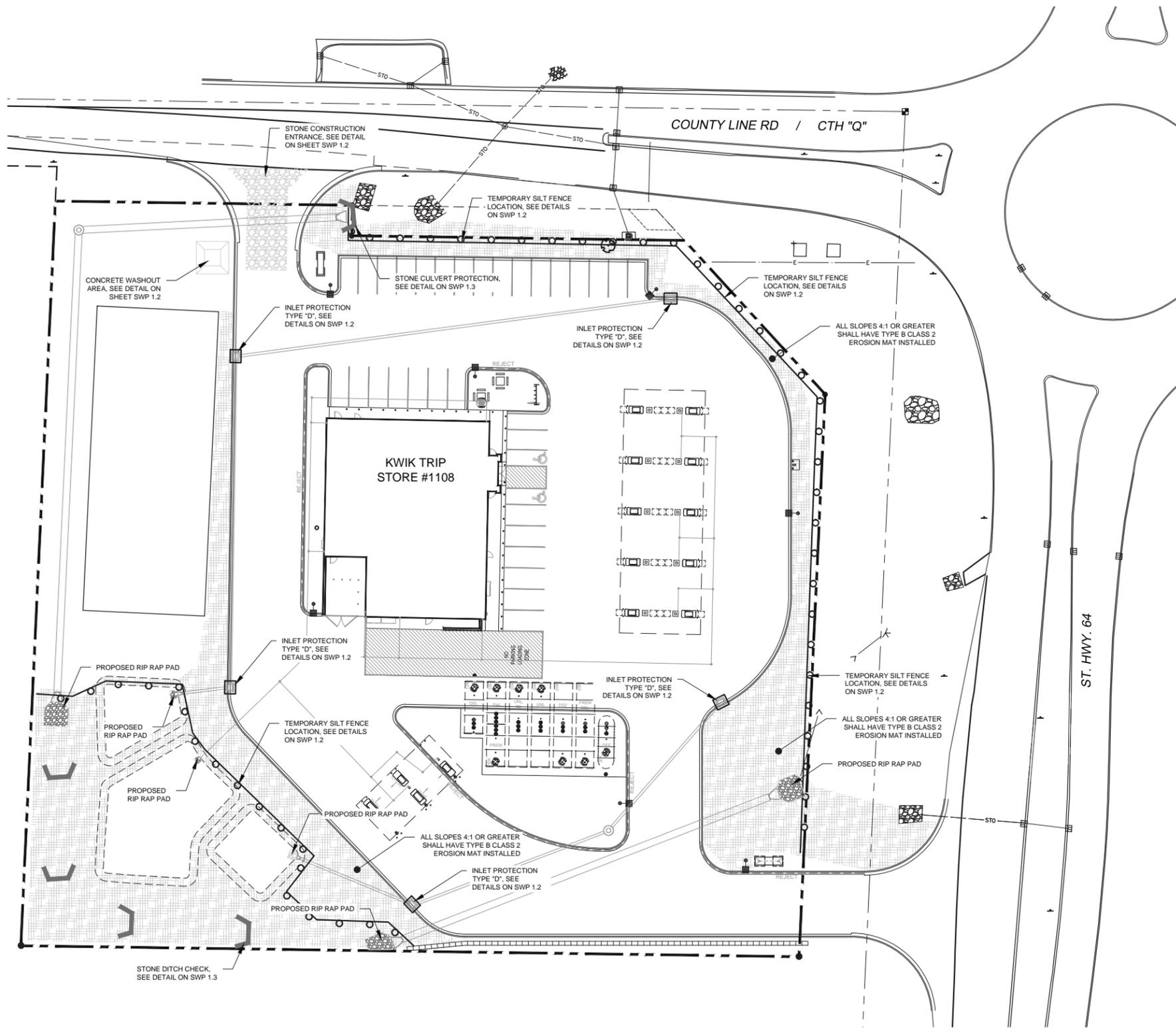
**UTILITY PLAN**  
**CONVENIENCE STORE #1108**  
**WITH DIESEL**  
W260 N9579 WI-164  
TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY: S. ANDERSON / L. OLSON  
SCALE: NOTED  
PROJ. NO.: 119.1179.30  
DATE: FEBRUARY 5, 2020  
SHEET: **SP 4.0**







**CONSTRUCTION SEQUENCE**

- \*INSTALL EROSION/SEDIMENT CONTROL MEASURES
- \*INSTALL STORMWATER MANAGEMENT SEDIMENT BASINS
- \*INSTALL STORM SEWER
- \*INSTALL STRUCTURES
- \*INSTALL PAVEMENTS
- \*INSTALL LAWN LANDSCAPE
- \*FLUSH STORM SEWER
- \*REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

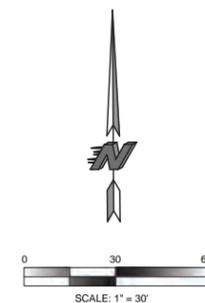
**PROJECT DATA**

SITE AREA DATA	134,554 SQ.FT.
DISTURBED AREA	133,840 SQ.FT.
PRE-CONSTRUCTION IMPERVIOUS AREA	25,067 SQ.FT.
POST-CONSTRUCTION IMPERVIOUS AREA	82,965 SQ.FT.

SOIL DATA:  
SURFACE SOIL CONCRETE  
W/ GRAVEL BASE OVER FILL

ESTIMATED PRELIMINARY EROSION CONTROL QUANTITIES (ACTUAL QUANTITIES SUBJECT TO CHANGE)	
ITEM	QUANTITY
ROCK CONSTRUCTION ENTRANCE - TEMP	1 EA.
EROSION MAT - PERMANENT	2,920 S.Y.
SILT FENCE - TEMP	800 L.F.
INLET PROTECTION, TYPE A - TEMP	0 EA.
INLET PROTECTION, TYPE D - TEMP	5 EA.
RIP-RAP - PERMANENT	20 C.Y.
STONE DITCH CHECK - PERMANENT	4 EA.
STONE CULVERT PROTECTION - TEMP	1 EA.

NOTE: FOR MAINTENANCE PURPOSES CONTRACTOR SHALL SUPPLY ALL SUFFICIENT QUANTITIES FOR REPAIR AND REPLACEMENT OF EROSION CONTROL DEVICES THROUGHOUT ALL PHASES OF THE PROJECTS CONSTRUCTION.



PLOTTING NOTE: PLANS PLOTTED TO 11X17  
SHEET SIZE ARE 1/2 SCALE - 1"=60'

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**

WS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

**Kwik  
TRIP**

**Kwik  
Star**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

  
**SNYDER  
& ASSOCIATES**  
5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444

EROSION CONTROL PLAN

CONVENIENCE STORE #1108  
WITH DIESEL

W260 N9579 WI-164  
TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY	S. ANDERSON / L. OLSON
SCALE	NOTED
PROJ. NO.	119.1179.30
DATE	FEBRUARY 5, 2020
SHEET	SWP 1.0

**GENERAL STORMWATER POLLUTION PREVENTION:**

APPLY FOR AND OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION ACTIVITIES.

**STORMWATER POLLUTION PREVENTION PLAN (SWPPP):** THE SWPPP INCLUDES THIS NARRATIVE, PLAN SHEETS SP3, SP3.1 AND SP3.2, AND THE STORMWATER MANAGEMENT CALCULATIONS. KEEP A COPY OF THE SWPPP, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS AT THE SITE DURING THE CONSTRUCTION. DURING THE CONSTRUCTION PROCESS THE SWPPP WILL HAVE TO BE AMENDED FOR ALL CHANGES PERFORMED BY THE CONTRACTOR. THE OWNER SHALL BE AWARE OF THE AMENDMENTS PRIOR TO CHANGES MADE TO THE SWPPP PLAN. ALL NOTES, PHOTOGRAPHS, RECORDED DATES, SKETCHES, REFERENCES, AND DIAGRAMS WILL HAVE TO BE RECORDED AND MADE AVAILABLE AS PART OF THE SWPPP PERMIT.

INDIVIDUAL(S) PREPARING THE SWPPP FOR THE PROJECT, OVERSEEING IMPLEMENTATION OF THE SWPPP, REPAIRING AND AMENDING THE SWPPP, AND AT LEAST ONE INDIVIDUAL ON THE PROJECT PERFORMING INSTALLATION, INSPECTION, MAINTENANCE, AND REVISIONS OF BMP'S MUST BE TRAINED. THE TRAINING MUST BE DONE BY A LOCAL, STATE, FEDERAL, AGENCIES, PROFESSIONAL ORGANIZATION, OR OTHER ENTITIES WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, OR PERMANENT STORMWATER MANAGEMENT.

**RESPONSIBLE PARTIES:** THE CONTRACTOR MUST DESIGNATE A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMP'S WHO WILL OVERSEE THE IMPLEMENTATION OF THE SWPPP, AND THE INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMP'S BEFORE AND DURING CONSTRUCTION.

THE OWNER IS RESPONSIBLE FOR IDENTIFYING WHO WILL HAVE RESPONSIBILITY FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PERMANENT STORMWATER MANAGEMENT SYSTEMS.

**OWNER CONTACT:**

NAME: JEFF OSGOOD

COMPANY: KWIK TRIP INC.

ADDRESS: KWIK TRIP, INC. - STORE ENGINEERING  
1626 OAK STREET, P.O. BOX 2107  
LA CROSSE, WI 54602

TELEPHONE: (608) 793-6414

**SITE INVESTIGATION, INSTALLATION, IMPLEMENTATION:**

PRIOR TO ANY WORK, CONTRACTOR SHALL VISIT THE SITE, DOCUMENT EXISTING CONDITIONS AS NECESSARY (PHOTOS, NOTES, ETC) AND NOTE EXISTING DRAINAGE PATTERNS ON AND OFF SITE THAT ARE RELATED TO THE PROJECT. THESE NOTES SHALL BE PART OF THE SWPP.

INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES INCLUDING SILT FENCE, ROCK CONSTRUCTION ENTRANCE(S), EROSION CONTROL BERMS, ROCK FILTERS, SILT SACKS, ROCK/EARTH BERMS, AND SEDIMENTATION BASINS. PROTECT ALL RECEIVING WATERS, CATCH BASINS, DITCHES, INLETS ETC. IN AND AROUND THE SITE. ALL PROTECTIVE AND PREVENTATIVE MEASURES MUST BE IN PLACE AND INSPECTED PRIOR TO BEGINNING SITE CLEARING, GRADING, OR OTHER LAND-DISTURBING ACTIVITY.

PRIOR TO BEGINNING SITE CLEARING AND GRADING, PROTECT ALL STORM SEWER INLETS THAT RECEIVE RUNOFF FROM DISTURBED AREAS. IN ORDER TO PREVENT SEDIMENT FROM LEAVING THE SITE AND ENTERING THE DOWNSTREAM STORM SEWER SYSTEM, SEAL ALL STORM SEWER INLETS THAT ARE NOT NEEDED FOR SITE DRAINAGE DURING CONSTRUCTION. PROTECT ALL OTHER STORM SEWER INLETS BY INSTALLING SEDIMENT CONTROL DEVICES, SUCH AS SILT SACKS, OR ROCKED FILTRATION LOGS/WIERS. STRAW BALES OR FABRIC UNDER THE GRATES ARE NOT ACCEPTABLE FORMS OF INLET PROTECTION. PROTECT NEW STORM SEWER INLETS AS THEY ARE COMPLETED. MAINTAIN STORM SEWER INLET PROTECTION IN PLACE UNTIL ALL SOILS WITH POTENTIAL FOR DISCHARGING TO THE INLETS ARE STABILIZED.

BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE WHEN AT ALL POSSIBLE CONTRACTOR SHALL DESIGNATE ONLY ONE ACCESS POINT FOR VEHICLES ENTERING AND EXITING THE SITE. THE ROCK ON THE ENTRANCE WILL HAVE TO BE INSPECTED DAILY AND REPLACED OR ROCK SUPPLEMENTED BY THE CONTRACTOR WHEN OVER 50% OF THE VOIDS IN THE ROCK ARE FILLED. A CLEANING STATION SHOULD BE MADE AVAILABLE TO DRIVERS AND VISIBLY SIGNED AS SUCH. PROVIDE SHOVELS, BROOMS AND/OR HOSE WITH A WASH OUT AREA SO SOILS CAN BE REMOVED FROM VEHICLES ON SITE.

AVOID ENTIRE REMOVAL OF TREES AND SURFACE VEGETATION ALL AT ONCE WHENEVER POSSIBLE AS THIS LIMITS THE AMOUNT OF SITE SUSCEPTIBLE TO EROSION. SCHEDULE CONSTRUCTION ZONES AND NOTE THIS ON THE SWPP PLAN IN ORDER TO EXPOSE THE SMALLEST PRACTICAL AREA OF SOIL AT ANY GIVEN TIME. UTILIZE VEGETATION REMOVED BY ON SITE GRINDING AND MULCHING AND USING THIS MATERIAL TO PROTECT THE SOIL FROM EROSION.

FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, COMPLETE PERMANENT OR TEMPORARY STABILIZATION AGAINST EROSION DUE TO RAIN, WIND, AND RUNNING WATER WITHIN 7 CALENDAR DAYS ON ALL DISTURBED OR GRADED AREAS. THIS REQUIREMENT DOES NOT APPLY TO THOSE AREAS THAT ARE CURRENTLY BEING USED FOR MATERIAL STORAGE ON A DAILY BASIS OR FOR THOSE AREAS ON WHICH GRADING, SITE BUILDING, OR OTHER CONSTRUCTION ACTIVITIES ARE ACTIVELY UNDERWAY. PROVIDE TEMPORARY COVER ON ALL STACKED TOPSOIL PILES, AND OTHER AREAS OF STOCKPILED EXCAVATED MATERIAL IN ORDER TO PREVENT SOIL EROSION AND RAPID RUNOFF DURING THE CONSTRUCTION PERIOD. STOCKPILES CAN BE MULCHED COVERED WITH POLY OR FABRIC, AND OR SEEDED DURING PROLONGED EXPOSURE. PROLONGED PERIODS OF OPEN, BARE EARTH WITHOUT GRASS COVER WILL NOT BE PERMITTED. STABILIZE ALL DISTURBED GREENSPACE AREAS WITH A MINIMUM OF 4" TOPSOIL IMMEDIATELY AFTER FINAL SUBGRADE COMPLETION. SEED AND MULCH, OR SOD AND PROTECT THESE AREAS WITHIN 48 HOURS AFTER COMPLETION OF FINAL GRADING WORK (WEATHER PERMITTING). STABILIZE ALL DISTURBED AREAS TO BE PAVED USING EARLY APPLICATION OF GRAVEL BASE. STABILIZE THE NORMAL WIETED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH THAT CONVEYS WATER FROM THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE CONSTRUCTION SITE, WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR WITHIN 200 FEET FROM THE POINT OF DISCHARGE TO ANY SURFACE WATER. STABILIZE TEMPORARY OR PERMANENT DRAINAGE DITCHES WITHIN 24 HOURS OF CONNECTING TO A SURFACE WATER. PROTECT OUTFALLS MINIMUM OF 200FEET DOWN STREAM AND TO THE SIDE OF THE DISCHARGE POINT. ADDITIONAL SETTLING "POTS" ACHIEVED BY FILTER LOGS OR FILTERED STICK BALES STAKED IN THE CHANNEL WILL DISSIPATE THE WATER ENERGY. PROVIDE PIPE OUTLETS WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS OF CONNECTION TO A SURFACE WATER.

RECEIVING WATERS - IT IS THE CONTRACTORS RESPONSIBILITY TO INSPECT THE SITE DISCHARGE POINT AS WELL AS DOWNSTREAM TO THE RECEIVING BODY OF WATER(POND, LAKE, STREAM, ETC.) ON A REGULAR BASIS INCLUDING AFTER EACH STORM EVENT AND DOCUMENT IF ANY DIFFERENCES OR CHANGES IN NORMAL IN DISCHARGE AND IF MATERIAL IS LEAVING THE CONSTRUCTION SITE. IF SO IT SHALL BE DOCUMENTED AND REMOVED IMMEDIATELY.

NOTE: ALL EROSION AND SEDIMENT CONTROL DEVICES WILL BE CHECKED BY THE CONTRACTOR AFTER EACH STORM EVENT AND BE MAINTAINED, OR IMPROVED UPON AFTER EVERY STORM EVENT TO ENSURE ADEQUATE PERFORMANCE.

**POLLUTION CONTROL:**

DESIGNATE A CONCRETE WASH-OUT AND TRUCK WASH AREA.  
MAKE IT VISIBLE IN THE FIELD TO VEHICLE OPERATORS AND NOTE THIS ON THE SWPPP PLAN.

WHEN WASHOUTS OCCUR ON THE SITE, CONCRETE WASHOUT WATER MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. LIQUID AND SOLID WASTES MAY NOT TOUCH THE GROUND AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS.

ON SITES WHERE CONCRETE WASHOUT AREAS ARE NOT FEASIBLE AS SHOWN ON THE DETAIL SHEET, ABOVE GROUND METHODS AND/OR OFF-SITE METHODS CAN BE UTILIZED AS APPROVED BY OWNER.

CONCRETE WASHOUT MAY BE PROVIDED OFF-SITE BY CONCRETE CONTRACTOR OR CONCRETE SUPPLIER, AT AN APPROVED WASHOUT DISPOSAL AREA. CONCRETE SUPPLIER MAY PROVIDE CONCRETE WASHOUT AREAS ON-BOARD THEIR TRANSPORTS FOR DISPOSAL OFF-SITE. CONCRETE CONTRACTOR SHALL VERIFY WITH SUPPLIER IN REGARDS TO PROVIDED CONCRETE WASHOUT AREAS ON AND OFF-SITE, AS NECESSARY.

LIMIT EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES TO A DEFINED AREA PREFERABLY BEFORE THE CONSTRUCTION ACCESS/EXIT POINT. WASH VEHICLES ONLY ON AN AREA STABILIZED WITH STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. CONTAIN RUNOFF AND PROPERLY DISPOSE OF WASTE. ENGINE DREGREASING IS PROHIBITED.

**SOLID WASTE:** PROPERLY DISPOSE OF COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS, AND OTHER WASTES IN COMPLIANCE WITH STATE REQUIREMENTS.

**HAZARDOUS MATERIALS:** PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE DEBRIS, CLEANING WASTES, OIL, GASOLINE, PAINT, WASTEWATER, TOXIC MATERIALS, AND HAZARDOUS MATERIALS) OFF-SITE. DO NOT ALLOW WASTE AND UNUSED BUILDING MATERIALS TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM. PROPERLY STORE OIL, GASOLINE, PAINT, AND OTHER HAZARDOUS MATERIALS IN ORDER TO PREVENT SPILLS, LEAKS, OR OTHER DISCHARGE. INCLUDE SECONDARY CONTAINMENT. RESTRICT ACCESS TO STORAGE AREAS IN ORDER TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS MATERIALS MUST BE IN COMPLIANCE WITH REGULATIONS.

**MACHINERY:** AND MECHANIZED EQUIPMENT THAT LEAKS WASTE SHALL HAVE A PROTECTIVE BARRIER OR CONTAINMENT UNDER THE DEVICE ADEQUATE TO CONTAIN THE WASTE. PROPERLY DISPOSE OF THE WASTE.

**EMERGENCY SPILL STATION:** CONTRACTOR SHALL LOCATE AND SIGN AN EMERGENCY SPILL STATION THAT HAS NECESSARY CONTAINMENT OR CLEANUP DEVICES FOR ALL WORKERS TO ACCESS.

**EROSION CONTROL:**

APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.

CONTRACTOR SHALL UTILIZE COARSELY GROUND WOOD AND TREE MULCHES TO COVER EXPOSED SOILS. MULCHES SHALL BE SPORED ON SITE TO SUPPLEMENT AND USE IN PROBLEM AREAS DURING ALL PHASES OF THE CONSTRUCTION PROJECT.

CONTRACTOR SHALL USES STAR TACK OR OTHER ORGANIC SUBSTANCES IN SITUATIONS TO PREVENT SOIL FROM ERODING AWAY BY WIND OR RAIN.

WHENEVER POSSIBLE CONTRACTOR SHALL GRADE AREAS OF SOIL TO LIMIT POTENTIAL OF EROSION, TO INCLUDE TRACKING PERPENDICULAR TO FALL LINE OF GRADES AS WELL AS DIVERTING WATER FLOWS FROM PROBLEMATIC AREAS ON THE SITE.

SEEDING, FIBER BLANKETS, POLY/TARPS OR COVER MULCHES, DISKED MULCHES AND COMPOST CAN BE USED TO COVER TEMPORARILY EXPOSED AREAS FROM WIND AND RAIN. OTHER METHODS BY THE CONTRACTOR SHALL BE DOCUMENTED IN THE SWPP.

**SEDIMENT CONTROL:**

ALL INLET PROTECTION SHALL BE TYPE - D AND ON THE WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL)

SILT FENCE  
INSTALL AND MAINTAIN PER WIDNR CONSERVATION PRACTICE STANDARD 1056.

INSTALL SILT FENCE ALONG THE CONTOUR (ON A LEVEL HORIZONTAL PLANE) WITH THE ENDS TURNED UP (J-HOOKS) IN ORDER TO HELP POND WATER BEHIND THE FENCE. INSTALL THE SILT FENCE ON THE UPHILL SIDE OF THE SUPPORT POSTS. PROVIDE A POST SPACING OF 1.2 M (4 FEET) OR LESS. DRIVE POSTS AT LEAST 0.6 M (2 FEET) INTO THE GROUND. ANCHOR THE SILT FENCE FABRIC IN A TRENCH AT LEAST 152 MM (6 INCHES) DEEP AND 152 MM (6 INCHES) WIDE DUG ON THE UPSLOPE SIDE OF THE SUPPORT POSTS. LAY THE FABRIC IN THE TRENCH AND THEN BACKFILL AND COMPACT WITH A VIBRATORY PLATE COMPACTOR. MAKE ANY SPLICES IN THE FABRIC AT A FENCE POST. AT SPLICES, OVERLAP THE FABRIC AT LEAST 152 MM (6 INCHES), FOLD IT OVER, AND SECURELY FASTEN IT TO THE FENCE POST. SILT FENCE SUPPORTING POSTS SHALL BE 51 MM (2 INCH) SQUARE OR LARGER HARDWOOD, PINE, OR STANDARD T- OR U-SECTION STEEL POSTS. T- OR U-SECTION STEEL POSTS SHALL WEIGH NOT LESS THAN 1.8602 KG PER METER (1.25 LB PER LINEAL FOOT). POSTS SHALL HAVE A MINIMUM LENGTH OF 1524 MM (5 FEET). POSTS SHALL HAVE PROJECTIONS TO FACILITATE FASTENING THE FABRIC AND PREVENT SLIPPAGE. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF WIDOT STANDARD SPECIFICATION 628 FOR PREASSEMBLED SILT FENCE, FURNISHED IN A CONTINUOUS ROLL IN ORDER TO AVOID SPLICES. GEOTEXTILE FABRIC SHALL BE UNIFORM IN TEXTURE AND APPEARANCE AND HAVE NO DEFECTS, FLAWS, OR TEARS. THE FABRIC SHALL CONTAIN SUFFICIENT ULTRAVIOLET (UV) RAY INHIBITOR AND STABILIZERS TO PROVIDE A MINIMUM TWO-YEAR SERVICE LIFE OUTDOORS. FABRIC COLOR SHALL BE INTERNATIONAL ORANGE. IN HIGH TRAFFIC AREAS CONTRACTOR SHALL REINFORCE SILT FENCE WITH WIRE FENCING AND METAL POSTS. EXTREME CIRCUMSTANCES WILL REQUIRE TEMPORARY CONCRETE MEDIAN SECTIONS TO SUPPORT MATERIAL BACKING OF STOCK PILED SOIL OR FILLED EARTH.

INSTALL SILTFENCE, OR OTHER EFFECTIVE SEDIMENT CONTROLS, AROUND ALL TEMPORARY SOIL STOCKPILES. LOCATE SOIL OR DIRT STOCKPILES CONTAINING MORE THAN 10 CUBIC YARDS OF MATERIAL SUCH THAT THE DOWNSLOPE DRAINAGE LENGTH IS NO LESS THAN 8 M (25 FEET) FROM THE TOE OF THE PILE TO A ROADWAY OR DRAINAGE CHANNEL. IF REMAINING FOR MORE THAN SEVEN DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. CONTROL EROSION FROM ALL STOCKPILES BY PLACING SILT FENCE BARRIERS AROUND THE PILES. DURING STREET REPAIR, COVER CONSTRUCTION SOIL OR DIRT STOCKPILES LOCATED CLOSER THAN 8 M (25 FEET) TO A ROADWAY OR DRAINAGE CHANNEL WITH TARPS, AND PROTECT STORM SEWER INLETS WITH SILT SACKS OR STAKED SILTFENCE. DO NOT STOCK PILE SOIL OR MATERIAL NEAR CATCH BASINS OR DRAINAGE WAYS.

STONE TRACKING PAD (TEMPORARY ROCK CONSTRUCTION ENTRANCE):  
INSTALL AND MAINTAIN PER WIDNR CONSERVATION PRACTICE STANDARD 1057. USE 3/4 INCH TO 6" DIAMETER ROCK. PLACE THE AGGREGATE IN A LAYER AT LEAST 300 MM (12 INCHES) THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 15 M (50 FEET) INTO THE CONSTRUCTION ZONE. USE A WIDOT TYPE R PERMEABLE GEOTEXTILE FABRIC MATERIAL BENEATH THE AGGREGATE IN ORDER TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW. MAINTAIN THE ENTRANCE IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED ROADWAYS. PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS REQUIRED. CLOSE ENTRANCES NOT PROTECTED BY TEMPORARY ROCK CONSTRUCTION ENTRANCES TO ALL CONSTRUCTION TRAFFIC.

TEMPORARY SEDIMENT BASINS  
IN THE CONSTRUCTION PROCESS OR IF NOTED ON THE PLAN THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SEDIMENT BASIN(S), AS PER GENERAL RULE THE SEDIMENT BASIN SHALL BE SIZED APPROPRIATELY TO A CAPACITY RELATED TO THE DRAINAGE AREA ON A RATIO OF 3.600 CUBIC FEET PER ACRE OF DRAINAGE ZONE ENTERING THE BASIN. BASINS SHALL BE INSPECTED AFTER EVERY RAINFALL EVENT, MATERIAL REMOVED AND STABILIZED. IF CHANGES TO THE BASIN ARE MADE, DOCUMENT AND AMEND THE SWPP PLAN.

DEWATERING:

IF DEWATERING IS REQUIRED AND SUMP PUMPS ARE USED, ALL PUMPED WATER MUST BE DISCHARGED THROUGH AN EROSION CONTROL FACILITY (TEMPORARY SEDIMENTATION BASIN, GRIT CHAMBER, SAND FILTER, UPFLOW CHAMBER, HYDRO-CYCLONE, SWIRL CONCENTRATOR, DEWATERING BAG OR OTHER APPROPRIATE FACILITY) PRIOR TO LEAVING THE CONSTRUCTION SITE. PROPER ENERGY DISSIPATION MUST BE PROVIDED AT THE OUTLET OF THE PUMP SYSTEM. DISCHARGE CLEAR WATER ONLY. TO ACHIEVE BETTER SEPARATIONS OF THE MATERIAL SUSPENDED IN THE WATER A BIODEGRADABLE NOT TOXIC FLOCCULANT AGENT MAY BE REQUIRED.

PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTHMESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.

**INSPECTIONS-MAINTENANCE-DAILY RECORD-AMEND THE SWPP PLAN:**

CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES, STABILIZED AREAS, AND INFILTRATION AREAS ON A DAILY BASIS UNTIL LAND-DISTURBING ACTIVITY HAS CEASED. THEREAFTER, INSPECT AT LEAST ON A WEEKLY BASIS UNTIL VEGETATIVE COVER IS ESTABLISHED. INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES, STABILIZED AREAS, AND INFILTRATION AREAS WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. REMOVE ACCUMULATED SEDIMENT DEPOSITS FROM BEHIND EROSION AND SEDIMENT CONTROL DEVICES AS NEEDED. DO NOT ALLOW SEDIMENT TO ACCUMULATE TO A DEPTH OF MORE THAN ONE-THIRD OF THE HEIGHT OF THE EROSION AND SEDIMENT CONTROL DEVICES. IMMEDIATELY REPLACE DETERIORATED, DAMAGED, ROTTED, OR MISSING EROSION CONTROL DEVICES. DOCUMENT INSPECTIONS AND DATES OF RAINFALL EVENTS. MAINTAIN A WRITTEN LOG OF ALL INSPECTION, MAINTENANCE, AND REPAIR ACTIVITIES RELATED TO EROSION AND SEDIMENT CONTROL FACILITIES. ALL NONFUNCTIONAL BMP'S MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMP'S WITHIN 24 HOURS AFTER DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.

ALL INSPECTIONS AND MAINTENANCE ACTIVITIES MUST BE RECORDED IN WRITING DAILY IN A DETAILED RECORD(NOTES, PHOTOGRAPHS, SKETCHES, ETC, AND KEPT WITH THE SWPPP BY THE CONTRACTOR.

CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO ADJACENT PROPERTY, PAVEMENT AREAS, SIDEWALKS, STREETS, AND ALLEYS. REMOVAL SHALL BE ON A DAILY BASIS THROUGHOUT THE DURATION OF THE CONSTRUCTION AND/OR AS DIRECTED BY THE VILLAGE. CLEAN PAVED ROADWAYS BY SHOVELING OR WET-SWEEPING. DO NOT DRY SWEEP. IF NECESSARY, SCRAPE PAVED SURFACES IN ORDER TO LOOSEN COMPACTED SEDIMENT MATERIAL PRIOR TO SWEEPING. HAUL SEDIMENT MATERIAL TO A SUITABLE DISPOSAL AREA. STREET WASHING IS ALLOWED ONLY AFTER SEDIMENT HAS BEEN REMOVED BY SHOVELING OR SWEEPING.

ALL SOIL HAULED FROM THE SITE SHALL BE ACCOUNTED FOR AND DOCUMENTED IN THE SWPP BY THE CONTRACTOR. ITS FINAL DESTINATION AND HOW THE SOIL HAS BEEN STORED AND STABILIZED.

CONTRACTOR SHALL MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED (HARD-SURFACED AREAS PAVED AND VEGETATION ESTABLISHED IN GREENSPACE). REPAIR ANY RUTTING, GULLY FORMATION, OR WASHOUTS. AFTER FINAL ESTABLISHMENT OF PERMANENT STABILIZATION, REMOVE ALL TEMPORARY SYNTHETIC, STRUCTURAL, AND NONBIODEGRADABLE EROSION AND SEDIMENT CONTROL DEVICES AND ANY ACCUMULATED SEDIMENTS, DISPOSE-OF OFF SITE. RESTORE PERMANENT SEDIMENTATION BASINS TO THEIR DESIGN CONDITION IMMEDIATELY FOLLOWING STABILIZATION OF THE SITE.

CONTRACTOR SHALL CLEAN SEDIMENTATION BASINS, STORM SEWER CATCH BASINS, DITCHES, AND OTHER DRAINAGE FACILITIES AS REQUIRED IN ORDER TO MAINTAIN THEIR EFFECTIVENESS. TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 OF THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.

CONTRACTOR SHALL INSPECT INFILTRATION AREAS TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS ACCUMULATING. REMOVE SEDIMENT IMMEDIATELY ENSURING SUBSOILS ARE NOT COMPACTED BY MACHINERY.

EVERY VEHICLE SHALL NOT TRACK MATERIAL OFF-SITE. CLEAN THE WHEELS OF CONSTRUCTION VEHICLES IN ORDER TO REMOVE SOILS BEFORE THE VEHICLES LEAVE THE CONSTRUCTION SITE. WASH VEHICLES ONLY ON AN AREA STABILIZED WITH STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

CONTRACTOR SHALL REINFORCE EROSION CONTROL FACILITIES IN AREAS WHERE CONCENTRATED FLOWS OCCUR (SUCH AS SWALES, DITCHES, AND AREAS IN FRONT OF CULVERTS AND CATCH BASINS) BY BACKING THEM WITH SNOW FENCE, WIRE MESH, OR STIFF PLASTIC MESH REINFORCEMENT UNTIL PAVING AND TURF ESTABLISHMENT OPERATIONS HAVE BEEN COMPLETED. POSTS FOR THE REINFORCING FENCE SHALL BE 100 MM (4 INCH) DIAMETER WOOD POSTS, OR STANDARD STEEL FENCE POSTS WEIGHING NOT LESS THAN 0.59 KG (1.3 LBS) PER LINEAL FOOT, WITH A MINIMUM LENGTH OF 762 MM (30 INCHES) PLUS BURIAL DEPTH. SPACE POSTS FOR THE REINFORCING FENCE AT INTERVALS OF 3 M (10 FEET) OR LESS. DRIVE POSTS FOR THE REINFORCING FENCE AT LEAST 0.6 M (2 FEET) INTO THE GROUND.

**GENERAL SOIL STABILIZATION:**

ESTABLISHMENT OF LAWN, PRAIRIE/WILDFLOWER AND/OR PLANT BED AREAS WILL BE NOTED ON THE LANDSCAPE PLAN

TO ENSURE STABILIZATION OF SOILS, RESTAKING OF SOD WHERE APPLICABLE, PROPER WATERING AND MULCH MAINTENANCE WILL BE REQUIRED. INSPECT SEEDED OR SODDED AREAS ON A TIMELY DAY-TO-DAY BASIS. IN THE EVENT OF A SEEDING FAILURE, RESEED AND REMULCH THE AREAS WHERE THE ORIGINAL SEED HAS FAILED TO GROW AND PERFORM ADDITIONAL WATERING AS NECESSARY AT NO ADDITIONAL COST TO THE OWNER. SPECIAL MAINTENANCE PROVISIONS FOR WILD AND PRAIRIE GRASS SEEDED AREAS AS NOTED IN THE LANDSCAPE PLAN. PROMPTLY REPLACE ALL SOD THAT DRIES OUT TO THE POINT WHERE IT IS PRESUMED DEAD AND ALL SOD THAT HAS BEEN DAMAGED, DISPLACED, WEAKENED, OR HEAVILY INFESTED WITH WEEDS AT NO ADDITIONAL COST TO THE OWNER.

IN AREAS TO BE TEMPORARILY SEEDED, USE INTRODUCED SEED MIXTURE EQUIVALENT TO WIDOT #10 OR #20. APPLY SEED MIXTURE PER WIDOT 630.3.3.5. INCORPORATE A FERTILIZER (SLOW RELEASE TYPE WITH 10 WEEK RESIDUAL) CONSISTING OF 23-0-30 (%N-P-K) INTO THE SOIL AT AN APPLICATION RATE OF 224 KG PER HECTAIRE (200 LBS PER ACRE) BY DISKING PRIOR TO SEEDING. IN PROBLEMATIC AREAS IT MAY BE NECESSARY TO USE A LOW PHOSPHORUS ORGANIC FERTILIZER IN CASES WHERE SEEDS MAY NOT GERMINATE. IF THIS IS THE CASE, SEED AND FERTILIZER SHALL BE DISKED INTO THE SURFACE AND MULCHED PROPERLY TO ENSURE GERMINATION AND UPTAKE OF THE PHOSPHORUS BY THE SEED.

TO ENSURE ADEQUATE GERMINATION OF THE SEED THE WORK WILL BE PERFORMED AS FOLLOWS:  
SPRING- FROM APRIL 1 THROUGH MAY 15.  
FALL- FROM AUGUST 15 TO SEPTEMBER 20.  
AFTER SEPTEMBER 20, WAIT UNTIL OCTOBER 30 TO PERFORM DORMANT SEEDING. DORMANT SEEDING WILL ONLY BE ALLOWED IF THE MAXIMUM SOIL TEMPERATURE AT A DEPTH OF 25 MM (1 INCH) DOES NOT EXCEED 4.44 DEGREES C (40 DEGREES F) IN ORDER TO PREVENT GERMINATION.

IN SEEDED AREAS WITH SLOPES STEEPER THAN 3:1 AND LENGTHS LESS THAN 15 METERS (50 FEET), INSTALL BIODEGRADABLE EROSION CONTROL BLANKETS UNIFORMLY OVER THE SOIL SURFACE BY HAND WITHIN 24 HOURS AFTER SEEDING IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. USE WIDOT URBAN TYPE B OR OWNER APPROVED EQUAL.

IN AREAS WHERE IRRIGATION IS TO BE INSTALLED, CONTRACTOR SHALL WORK IN ZONES TO FINISH GRADE AND INSTALL THE SYSTEM IN ZONES. NOTE- EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SOILS HAVE BEEN STABILIZED WITH SOD OR SEEDED AREAS THAT EXHIBIT MINIMUM OF 70% LAWN VEGETATIVE COVERAGE. IF SILT FENCE HAS TO BE REMOVED TO INSTALL THE IRRIGATION SYSTEM, IT SHALL BE REINSTALLED AT THE END OF EACH WORK DAY OR USE BIO ROLLS TO PROVIDE PROTECTION DURING THE INSTALLATION PROCESS UNTIL LAWN AREAS HAVE SOD AND/OR PLANT BEDS ARE MULCHED.

IN AREAS TO BE SODDED, SILT FENCE CAN BE REMOVED SHORT TERM FOR WORKING, BUT EXPOSED SOIL AREAS SHALL BE SODDED OR EROSION CONTROL MEASURES SHALL BE REINSTALLED AT THE END OF EACH WORK DAY.

NOTE: THE PROJECT'S LANDSCAPE PLAN IS PART OF THE SWPP FOR SOIL STABILIZATION. REFERENCES SHALL BE MADE TO THE APPROVED LANDSCAPE PLAN. AMENDMENTS TO THE LANDSCAPE PLAN SHALL BE APPROVED BY THE OWNER AND DOCUMENTED AS PART OF THE SWPP



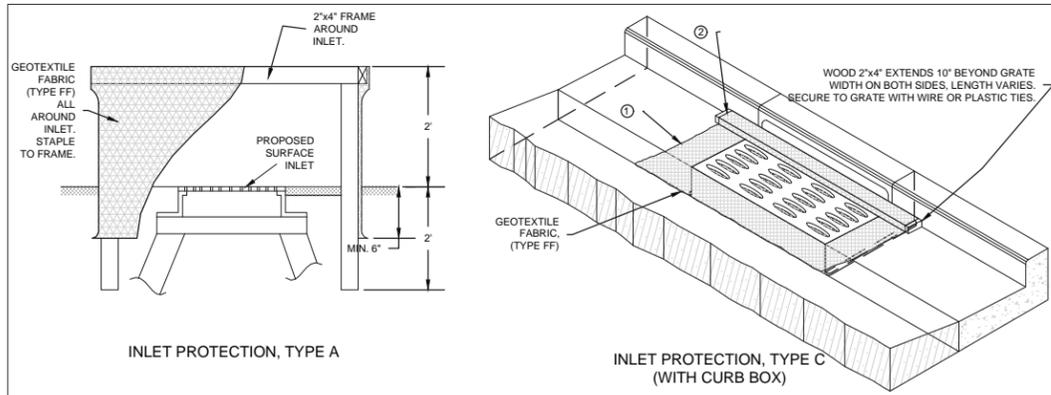
**KWIK TRIP, Inc.**  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960



**EROSION CONTROL NOTES**  
**CONVENIENCE STORE #1108 WITH DIESEL**  
W/260 N9579 WI-164  
TOWN OF LISBON, WISCONSIN

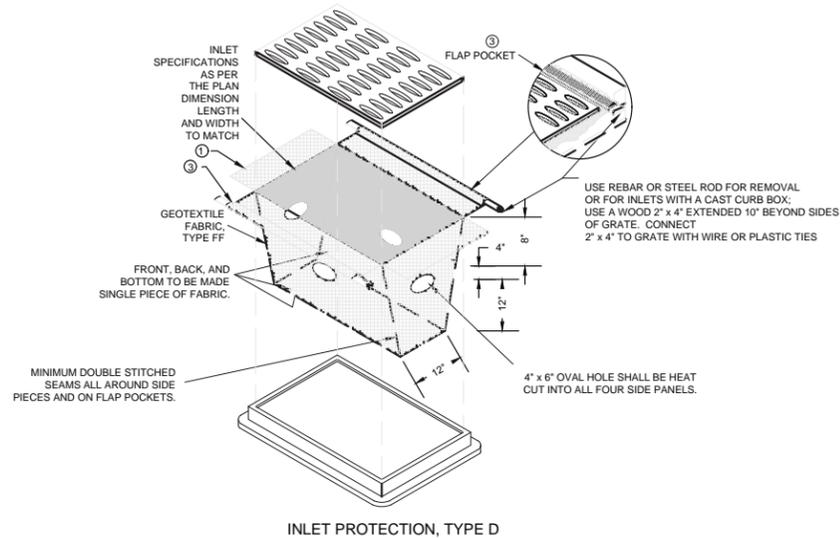
#	DATE	DESCRIPTION

DRAWN BY S. ANDERSON / L. OLSON  
SCALE NOTED  
PROJ. NO. 119.1179.30  
DATE FEBRUARY 5, 2020  
SHEET **SWP 1.1**



INLET PROTECTION, TYPE A

INLET PROTECTION, TYPE C (WITH CURB BOX)



INLET PROTECTION, TYPE D

1 SWP1.2 STORM WATER INLET PROTECTION NOT TO SCALE

ALL EROSION CONTROL MEASURES TO BE INSTALLED AND MAINTAINED PER WDNR STANDARDS

INSTALLATION NOTES:

TYPE C

- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D

- DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

GENERAL NOTES:

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON WIS DOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

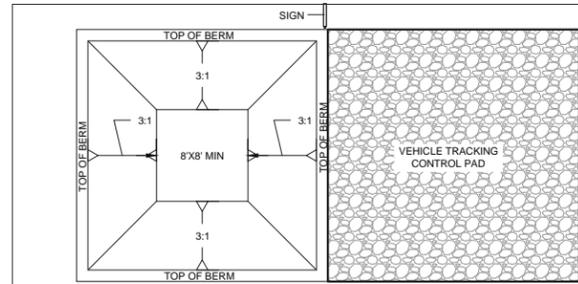
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

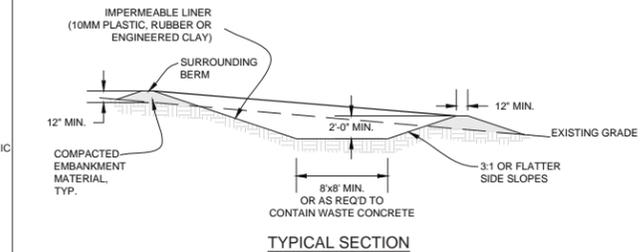
FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

FLAP POCKET SHALL BE LARGE ENOUGH TO ACCEPT A WOOD 2" x 4".

3



PLAN VIEW



TYPICAL SECTION

CONCRETE WASHOUT AREA INSTALLATION NOTES

- SEE EROSION CONTROL PLAN FOR LOCATIONS OF CONCRETE WASHOUT AREA(S), TO BE PLACED A MIN. OF 50' FROM DRAINAGEWAYS, BODIES OF WATER, AND INLETS.)
- THE CONCRETE WASHOUT AREA(S) SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
- VEHICLE TRACKING CONTROL PAD IS REQ'D AT THE ACCESS POINT(S).
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA(S), AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREAS TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
- EXCAVATED MATERIAL SHALL BE UTILIZED IN PERIMETER BERM CONSTRUCTION.

CONCRETE WASHOUT AREA MAINTENANCE NOTES

- THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE
- AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
- WHEN CONCRETE WASHOUT AREA(S) IS REMOVED, THE DISTURBED AREA SHALL BE STABILIZED PER SITE EROSION CONTROL MEASURES.
- INSPECT WEEKLY AND DURING AND AFTER ALL STORM EVENTS. CLEAN-OUT OR COVER WASHOUT AREA PRIOR TO PREDICTED STORM EVENTS TO PREVENT OVER-FLOW.

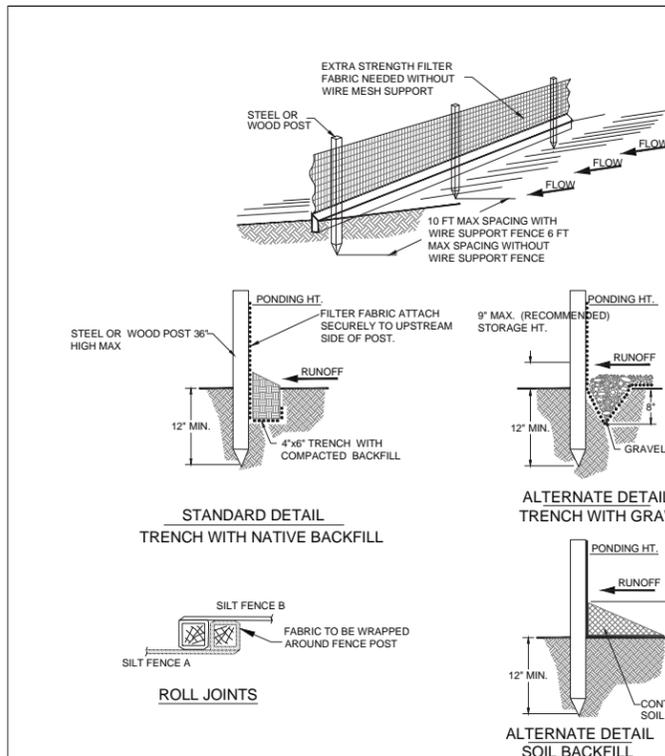
4 SWP1.2 CONCRETE WASHOUT AREA NOT TO SCALE

**KWIK TRIP**

**KWIK STAR**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**SNYDER & ASSOCIATES**  
5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444



2 SWP1.2 SILT FENCE INSTALLATION DETAILS NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES. STORAGE HEIGHT SHALL NEVER EXCEED 18".

THE FENCE LINE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE.

IF POSSIBLE, THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.

POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.

THE ENDS OF THE FENCE SHALL BE TURNED UPHILL.

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

WHEN STANDARD-STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG. THE WIRES OR HOOP RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

THE STANDARD-STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 6 INCHES OF THE FABRIC SHALL EXTEND INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.

THE TRENCH SHALL BE BACKFILLED AND/OR THE SOIL COMPACTED OVER THE TOE OF THE FILTER FABRIC. THE FILTER FABRIC SHALL NOT BE SECURED BY SAND BAGS.

SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 6 FEET FROM THE TOE IN ORDER TO INCREASE PONDING VOLUME.

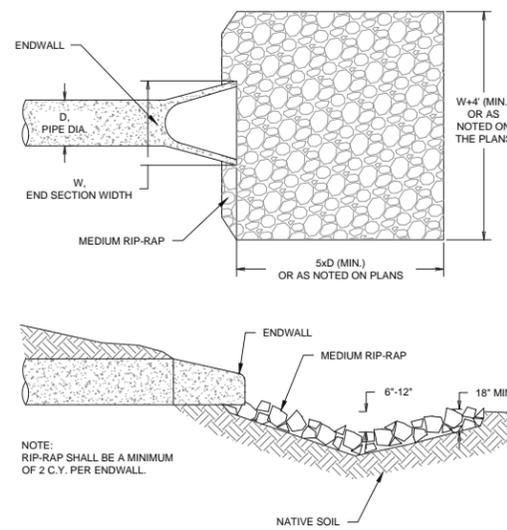
SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED, AND ANY SEDIMENT STORED BEHIND THE SILT FENCE HAS BEEN REMOVED.

INSPECTION AND MAINTENANCE

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EACH SIGNIFICANT STORM (1" IN 24 HR.). ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

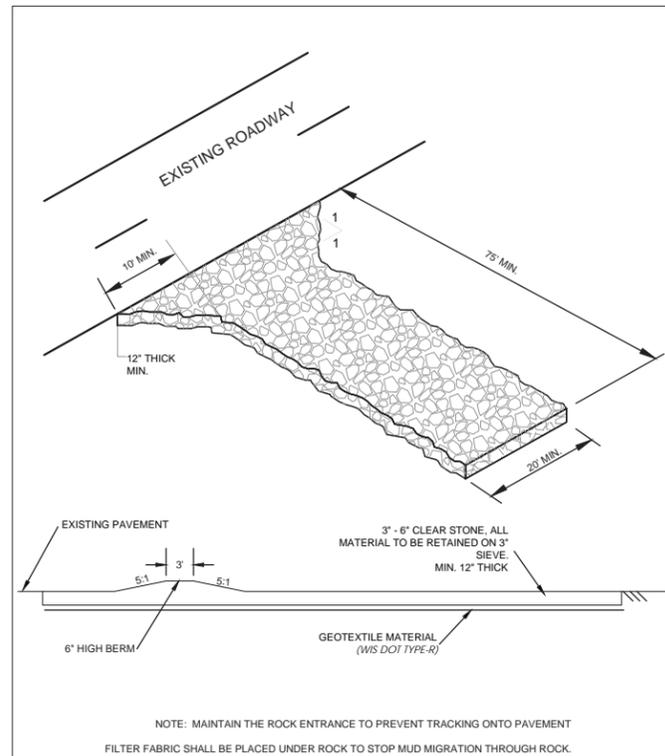
SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 HEIGHT OF THE FENCE OR 9 INCHES MAXIMUM.

THE REMOVED SEDIMENT SHALL BE VEGETATED OR OTHERWISE STABILIZED.



NOTE: RIP-RAP SHALL BE A MINIMUM OF 2 C.Y. PER ENDWALL.

3 SWP1.2 BASIN OUTFALL RIPRAP DETAIL NOT TO SCALE



NOTE: MAINTAIN THE ROCK ENTRANCE TO PREVENT TRACKING ONTO PAVEMENT  
FILTER FABRIC SHALL BE PLACED UNDER ROCK TO STOP MUD MIGRATION THROUGH ROCK.

5 SWP1.2 CONSTRUCTION ENTRANCE DETAIL NOT TO SCALE

EROSION CONTROL DETAILS

CONVENIENCE STORE #1108 WITH DIESEL

W260 N9579 WI-164 TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY	S. ANDERSON / L. OLSON
SCALE	NOTED
PROJ. NO.	119.1179.30
DATE	FEBRUARY 5, 2020
SHEET	SWP 1.2





PLANT SCHEDULE						
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	MATURE SIZE	COMMENTS
<b>CANOPY TREES</b>						
6	RO	Quercus rubra	NORTHERN RED OAK	2 1/2" Cal.	60h x 60w	B&B
3	SM	Acer x freemanii 'Sienna'	SIENNA GLEN MAPLE	2 1/2" Cal.	60h x 40w	B&B
6	RB	Betula nigra 'Cully'	HERITAGE RIVER BIRCH	1 1/2" Cal.	50h x 50h	B&B (MULTI STEM)
<b>EVERGREEN TREES</b>						
8	SJ	Juniperus scopulorum 'Skyrocket'	SKYROCKET JUNIPER	4'	15h x 3'w	B&B
<b>DECIDUOUS SHRUBS</b>						
5'-7' SPREAD						
19	RC	Cotoneaster horizontalis var. perpusilus	ROCK COTONEASTER	6" Ht.	1.5'h x 5'w	#5 CONT. (F O.C.)
25	AF	Cornus stolonifera 'Farrow'	ARCTIC FIRE DOGWOOD	18" Ht.	3'h x 3'w	#5 CONT. (F O.C.)
7+ SPREAD						
16	RA	Rhus aromatica 'Gro-Low'	GRO-LOW SUMAC	24" Ht.	5'h x 8'w	#5 CONT. (F O.C.)
<b>EVERGREEN SHRUBS</b>						
5'-7' SPREAD						
23	JH	Juniperus horizontalis 'Hughes'	HUGHES JUNIPER	6" Ht.	18'h x 5'w	#5 CONT. (F O.C.)
16	JW	Juniperus horizontalis 'Wiltonii'	BLUE RUG JUNIPER	6" Ht.	6'h x 7'w	#5 CONT. (F O.C.)
7' + SPREAD						
6	RW	Rhododendron catawbiense 'Album'	WHITE CATAWBA RHODODENDRON	24" Ht.	6'h x 7'w	#5 CONT. (F O.C.)
10	MP	Pinus mugo var. pumilio	DWARF MUGO PINE	24" Ht.	4'h x 10w	#5 CONT. (F O.C.)
<b>ORNAMENTAL GRASSES</b>						
27	BA	Bouteloua gracilis 'blonde ambition'	BLONDE AMBITION BLUE GRAMA GRASS	8" Ht.	36" Ht.	#1 CONT. (F O.C.)
30	LB	Schizachyrium scoparium	LITTLE BLUESTEM	8" Ht.	36" Ht.	#1 CONT. (F O.C.)
12	PS	Panicum virgatum 'shenandoah'	SHENANDOAH SWITCH GRASS	8" Ht.	48" Ht.	#1 CONT. (F O.C.)

 PERENNIAL PLUG MIX AT BIORETENTION NOTES:  
 PLANTS SHALL BE PLANTED IN THE BIORETENTION AREA AT A MINIMUM OF ONE PLANT PER EVERY 12" ON CENTER.  
 TOTAL SF = 2,056 SF  
 TOTAL PLUGS = 2,056  
 GROUP A = 40% OF PLUG TOTAL  
 GROUP B = 40% OF PLUG TOTAL  
 GROUP C = 20% OF PLUG TOTAL

**BIORETENTION PLANT SCHEDULE**

Group A		
Common Name	Botanical Name	Percentage
Showy Black-eyed Susan	<i>Rudbeckia fulgida</i>	16
Dogtooth Daisy	<i>Helianthus autumnale</i>	12
Culver's Root	<i>Veronicastrum virginicum</i>	10
Great Blue Lobelia	<i>Lobelia siphilitica</i>	16
Big bluestem	<i>Andropogon gerardii</i>	16
Indian Grass	<i>Sorghastrum nutans</i>	16
Bluejoint Grass	<i>Calamagrostis canadensis</i>	14
		100
Group B		
Common Name	Botanical Name	Percentage
Ohio Goldenrod	<i>Solidago ohioensis</i>	12
Marsh Milkweed	<i>Asclepias incarnata</i>	18
Butterfly Weed	<i>Asclepias tuberosa</i>	15
Boneset	<i>Eupatorium perfoliatum</i>	11
Heavy Metal Switchgrass	<i>Panicum virgatum 'Heavy Metal'</i>	16
Canada Wild Rye Grass	<i>Elymus canadensis</i>	14
Fringed Brome Grass	<i>Bromus ciliatus</i>	14
		100
Group C		
Common Name	Botanical Name	Percentage
Tall Ironweed	<i>Vernonia altissima</i>	12
Spotted Joe-Pye Weed	<i>Eutrochium maculatum</i>	12
Compass Plant	<i>Silphium laciniatum</i>	17
Prairie Blazingstar	<i>Liatris pycnostachya</i>	16
Wool Grass	<i>Scirpus cyperinus</i>	16
Big bluestem	<i>Andropogon gerardii</i>	12
Dark Green Rush	<i>Scirpus atrovirens</i>	15
		100

**LANDSCAPE CALCULATIONS**

**LAND USE BUFFER**

AN APPROPRIATE LAND USE BUFFER AND LANDSCAPE SHALL BE PROVIDED BETWEEN USES BASED ON THE INTENSITY OF USES. THE TOTAL LINEAL FEET LANDSCAPING REQUIREMENT FOR EACH SIDE CAN BE ADDED TOGETHER AND ALLOCATED, HOWEVER IN NO CASE SHALL A LANDSCAPE REQUIREMENT BE LESS THAN ZERO.

THE LINEAL FEET MEASUREMENT OF A SIDE IS REDUCED BY THE PORTION OF THE LENGTH OF THE PRIMARY BUILDING FACING THAT SIDE WHERE NO PARKING LOT IS FOUND ON A PERPENDICULAR TANGENT BETWEEN THE BUILDING AND THE PROPERTY LINE ON THAT SIDE AND WHEN THE BUILDING HAS NO DOCK DOORS ON THAT SIDE OF THE BUILDING.

LUI = LAND USE INTENSITY  
 ISR = IMPERVIOUS SURFACE RATIO

FOR BUFFERS WITH A LUI DIFFERENCE OF 0-3, 2 SHADE TREES, 6 EVERGREEN TREES, & 20 SHRUBS ARE REQUIRED PER 100 LF

**NORTH BUFFER CALCULATIONS**  
 9 (HEAVY COMMERCIAL) - 9 (HEAVY COMMERCIAL) - 1 (LOCAL ROAD)  
 = 0 (ADJUSTED LUI)  
 BUFFER LENGTH: 181 LF

**EAST BUFFER CALCULATIONS**  
 9 (HEAVY COMMERCIAL) - 8 (GENERAL COMMERCIAL > .65 ISR) - 6 LIMITED ACCESS HWY  
 = 0 (ADJUSTED LUI)  
 BUFFER LENGTH: 310 LF

**WEST BUFFER CALCULATIONS**  
 9 (HEAVY COMMERCIAL) - 7 (GENERAL COMMERCIAL < .65 ISR)  
 = 2 (ADJUSTED LUI)  
 BUFFER LENGTH: \* NO PARKING OR DOCK DOORS ON THIS SIDE OF PRIMARY BUILDING

**SOUTH BUFFER CALCULATIONS**  
 9 (HEAVY COMMERCIAL) - 7 (GENERAL COMMERCIAL < .65 ISR)  
 = 2 (ADJUSTED LUI)  
 BUFFER LENGTH: 235 LF

TOTAL PLANTS NEEDED: 726 LF/100 = 7.3 x (2 SHADE TREES, 6 EVERGREEN TREES, & 20 SHRUBS)  
 = 15 SHADE TREES, 44 EVERGREEN TREES & 146 SHRUBS  
 TOTAL PLANTS PROVIDED: 15 SHADE TREES / 8 EVERGREEN TREES / 183 SHRUBS

**PARKING AREA LANDSCAPING**

REQUIREMENT: OFF-STREET PARKING AREAS WHICH SERVE 20+ VEHICLES SHALL BE PROVIDED WITH LANDSCAPE AREAS TOTALING NOT LESS THAN 7.5% AND EACH LANDSCAPE AREA SHALL NOT BE LESS THAN 150 SF

TOTAL PARKING AREA: 12,372.09 SF x .075 = 927.91 SF  
 PROVIDED PARKING LANDSCAPE AREA: 1,279 SF



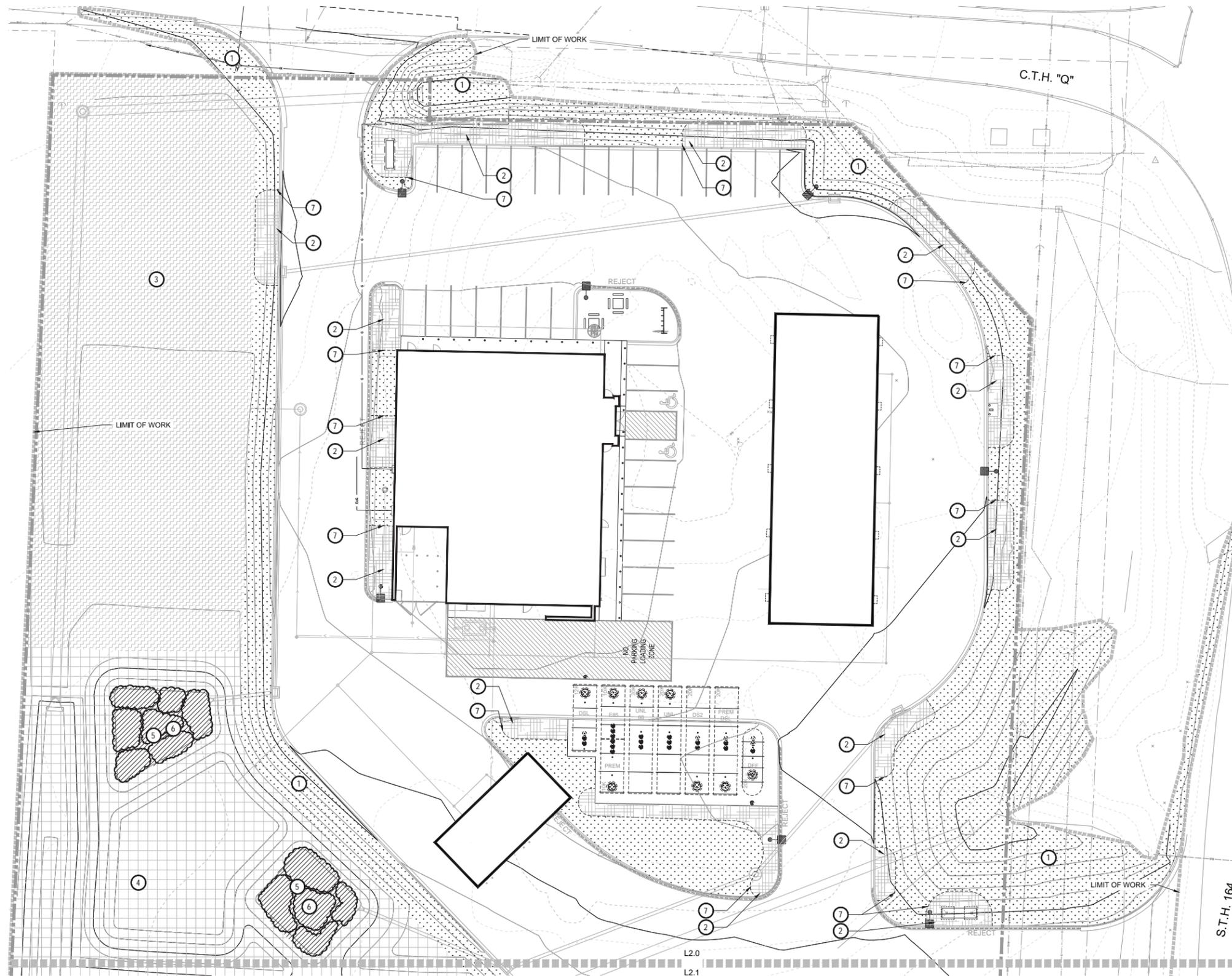
KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960



LANDSCAPE NOTES  
 CONVENIENCE STORE #1108  
 WITH DIESEL  
 W260 N9579 WI-164  
 TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY S. ANDERSON / L. OLSON  
 SCALE NOTED  
 PROJ. NO. 119.1179.30  
 DATE FEBRUARY 5, 2019  
 SHEET L1.1



**LANDSCAPE LEGEND**

- ① SOD (23,171 SF), REFER TO CONSTRUCTION NOTES FOR TYPE
- ② SHRUB BED WITH HARDWOOD MULCH (47 CY DOES NOT INCLUDE STAND-ALONG TREES OUTSIDE SHRUB BED AREAS), REFER TO CONSTRUCTION NOTES FOR TYPE
- ③ TURF SEED (18,163 SF)
- ④ NATIVE SEED (16,072 SF) REFER TO CONSTRUCTION NOTES FOR TYPE.
- ⑤ ⑥ PERENNIAL PLUG MIX, REFER TO BIORETENTION PLANT SCHEDULE.
- SPADE CUT EDGER AT 4" DEPTH (659 LF)
- LIMIT OF WORK
- ===== MATCHLINE
- DECIDUOUS CANOPY TREE
- LARGE DECIDUOUS ORNAMENTAL TREE
- ⊕ EVERGREEN
- ⊕⊖ DECIDUOUS SHRUBS
- ⊕⊖⊙ EVERGREEN SHRUBS
- ⊕⊖⊙\* ORNAMENTAL GRASSES

**LANDSCAPE CONSTRUCTION NOTES**

1. KENTUCKY BLUEGRASS SOD PROVIDED BY PAUL'S TURF & TREE NURSERY INC. (608.655.3600) OR APPROVED EQUAL.
2. PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL STAND-ALONE TREES TO A MIN. 3-FOOT PERIMETER, AND IN ALL AREAS NOTED ON PLANS OVER GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN GROUND COVER OR PERENNIAL AREAS. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE WHEN PERIMETER IS NOT CONCRETE CURB. MULCH PROVIDED BY CERTIFIED PRODUCTS, INC. (262.542.2270) OR APPROVED EQUAL.
3. "SUNNY PLACE" TURF SEED BY CERTIFIED PRODUCTS, INC. (262.542.2270) OR APPROVED EQUAL.
4. NATIVE SEED SHALL BE "DETENTION BASIN - BIOSWALE MIX" PROVIDED BY PRAIRIE NURSERY (1.800.476.9453) OR APPROVED EQUAL.
5. PERENNIAL PLUGS PROVIDED BY AGRECOL (608.223.3571) OR APPROVED EQUAL. RE: PLANTING SCHEDULE FOR MIXTURE.
6. ALL BIORETENTION PLANTS SHALL BE INSTALLED PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD CODE 1004 (BIORETENTION FOR INFILTRATION).
7. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE AT 4" DEPTH WHEN PERIMETER IS NOT CONCRETE SIDEWALK OR CURB.
8. RETAINING WALL, REFER TO DETAIL 3/L3.0
9. REFER TO CONSTRUCTION SEQUENCE FOR NOTES REGARDING SITE RESTORATION.



KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960



5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444

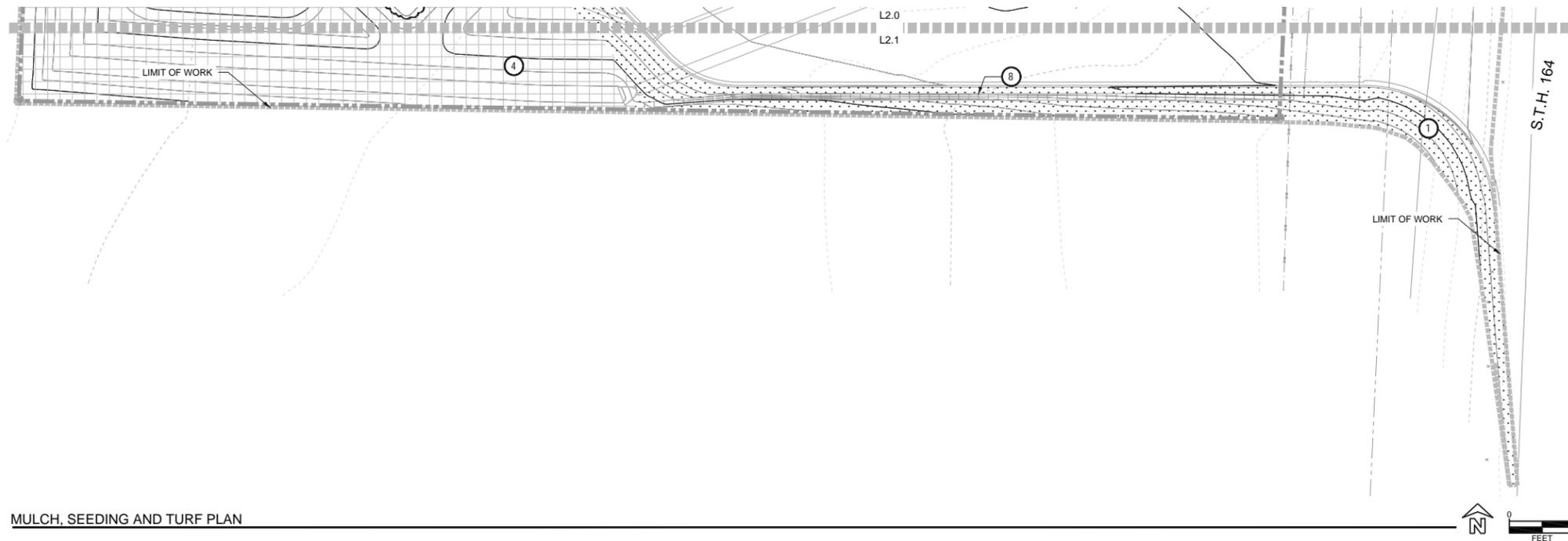
MULCH, SEEDING AND TURF PLAN  
**CONVENIENCE STORE #1108  
WITH DIESEL**  
W260 N9579 WI-164  
TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY S. ANDERSON / L. OLSON  
SCALE NOTED  
PROJ. NO. 119.1179.30  
DATE FEBRUARY 5, 2019  
SHEET L 2.0

MULCH, SEEDING AND TURF PLAN





MULCH, SEEDING AND TURF PLAN

**LANDSCAPE LEGEND**

- ① SOD (23,171 SF), REFER TO CONSTRUCTION NOTES FOR TYPE
- ② SHRUB BED WITH HARDWOOD MULCH (47 CY DOES NOT INCLUDE STAND-ALONG TREES OUTSIDE SHRUB BED AREAS), REFER TO CONSTRUCTION NOTES FOR TYPE
- ③ TURF SEED (18,163 SF)
- ④ NATIVE SEED (16,072 SF) REFER TO CONSTRUCTION NOTES FOR TYPE.
- ⑤ ⑥ PERENNIAL PLUG MIX, REFER TO BIORETENTION PLANT SCHEDULE.
- SPADE CUT EDGER AT 4" DEPTH (659 LF)
- LIMIT OF WORK
- MATCHLINE
- DECIDUOUS CANOPY TREE
- LARGE DECIDUOUS ORNAMENTAL TREE
- + EVERGREEN
- DECIDUOUS SHRUBS
- + EVERGREEN SHRUBS
- ORNAMENTAL GRASSES

**LANDSCAPE CONSTRUCTION NOTES**

1. KENTUCKY BLUEGRASS SOD PROVIDED BY PAUL'S TURF & TREE NURSERY INC. (608.655.3600) OR APPROVED EQUAL.
2. PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL STAND-ALONE TREES TO A MIN. 3-FOOT PERIMETER, AND IN ALL AREAS NOTED ON PLANS OVER GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN GROUND COVER OR PERENNIAL AREAS. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE WHEN PERIMETER IS NOT CONCRETE CURB. MULCH PROVIDED BY CERTIFIED PRODUCTS, INC. (262.542.2270) OR APPROVED EQUAL.
3. "SUNNY PLACE" TURF SEED BY CERTIFIED PRODUCTS, INC. (262.542.2270) OR APPROVED EQUAL.
4. NATIVE SEED SHALL BE "DETENTION BASIN - BIOSWALE MIX" PROVIDED BY PRAIRIE NURSERY (1.800.476.9453) OR APPROVED EQUAL.
5. PERENNIAL PLUGS PROVIDED BY AGRECOL (608.223.3571) OR APPROVED EQUAL. RE: PLANTING SCHEDULE FOR MIXTURE.
6. ALL BIORETENTION PLANTS SHALL BE INSTALLED PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD CODE 1004 (BIORETENTION FOR INFILTRATION).
7. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE AT 4" DEPTH WHEN PERIMETER IS NOT CONCRETE SIDEWALK OR CURB.
8. RETAINING WALL, REFER TO DETAIL 3/L3.0
9. REFER TO CONSTRUCTION SEQUENCE FOR NOTES REGARDING SITE RESTORATION.



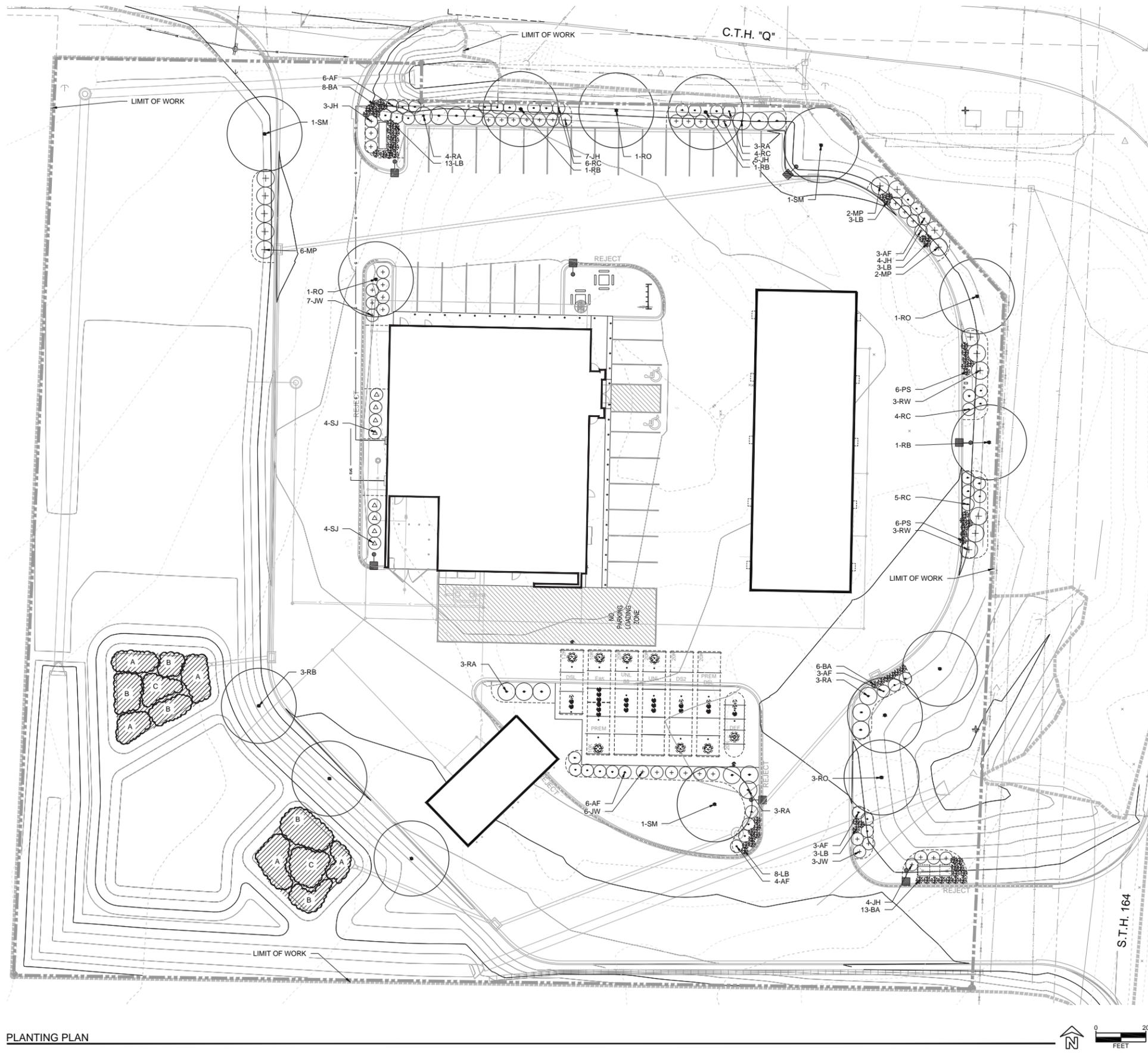
KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960



MULCH, SEEDING AND TURF PLAN  
 CONVENIENCE STORE #1108  
 WITH DIESEL  
 W260 N9579 WI-164  
 TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY S. ANDERSON / L. OLSON  
 SCALE NOTED  
 PROJ. NO. 119.1179.30  
 DATE FEBRUARY 5, 2019  
 SHEET L 2.1



**LANDSCAPE LEGEND**

- ① SOD (23,171 SF). REFER TO CONSTRUCTION NOTES FOR TYPE
- ② SHRUB BED WITH HARDWOOD MULCH (47 CY DOES NOT INCLUDE STAND-ALONG TREES OUTSIDE SHRUB BED AREAS), REFER TO CONSTRUCTION NOTES FOR TYPE
- ③ TURF SEED (18,163 SF)
- ④ NATIVE SEED (16,072 SF) REFER TO CONSTRUCTION NOTES FOR TYPE.
- ⑤ ⑥ PERENNIAL PLUG MIX, REFER TO BIORETENTION PLANT SCHEDULE.
- SPADE CUT EDGER AT 4" DEPTH (659 LF)
- LIMIT OF WORK
- MATCHLINE
- DECIDUOUS CANOPY TREE
- LARGE DECIDUOUS ORNAMENTAL TREE
- ⊕ EVERGREEN
- ⊙ DECIDUOUS SHRUBS
- ⊕⊙ EVERGREEN SHRUBS
- ⊙⊕ ORNAMENTAL GRASSES

**LANDSCAPE CONSTRUCTION NOTES**

1. KENTUCKY BLUEGRASS SOD PROVIDED BY PAUL'S TURF & TREE NURSERY INC. (608.655.3600) OR APPROVED EQUAL.
2. PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH AROUND ALL STAND-ALONG TREES TO A MIN. 3-FOOT PERIMETER, AND IN ALL AREAS NOTED ON PLANS OVER GEOTEXTILE WEED CONTROL FABRIC. NO WEED CONTROL FABRIC IS REQUIRED IN GROUND COVER OR PERENNIAL AREAS. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE WHEN PERIMETER IS NOT CONCRETE CURB. MULCH PROVIDED BY CERTIFIED PRODUCTS, INC. (262.542.2270) OR APPROVED EQUAL.
3. "SUNNY PLACE" TURF SEED BY CERTIFIED PRODUCTS, INC. (262.542.2270) OR APPROVED EQUAL.
4. NATIVE SEED SHALL BE "DETECTION BASIN - BIOSWALE MIX" PROVIDED BY PRAIRIE NURSERY (1.800.476.9453) OR APPROVED EQUAL.
5. PERENNIAL PLUGS PROVIDED BY AGRECOL (608.223.3571) OR APPROVED EQUAL. RE: PLANTING SCHEDULE FOR MIXTURE.
6. ALL BIORETENTION PLANTS SHALL BE INSTALLED PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD CODE 1004 (BIORETENTION FOR INFILTRATION).
7. MULCHED LANDSCAPE BEDS SHALL HAVE A SPADED VERTICAL EDGE AT 4" DEPTH WHEN PERIMETER IS NOT CONCRETE SIDEWALK OR CURB.
8. RETAINING WALL, REFER TO DETAIL 3/L3.0
9. REFER TO CONSTRUCTION SEQUENCE FOR NOTES REGARDING SITE RESTORATION.

**PLANT SCHEDULE**

QTY	KEY	COMMON NAME
<b>CANOPY TREES</b>		
	RO	NORTHERN RED OAK
	SM	SIENNA GLEN MAPLE
	RB	HERITAGE RIVER BIRCH
<b>EVERGREEN TREES</b>		
	SJ	SKYROCKET JUNIPER
<b>DECIDUOUS SHRUBS</b>		
<b>5-7' SPREAD</b>		
	RC	ROCK COTONEASTER
	AF	ARCTIC FIRE DOGWOOD
<b>7' + SPREAD</b>		
	RA	GRO-LOW SUMAC
<b>EVERGREEN SHRUBS</b>		
<b>5-7' SPREAD</b>		
	JH	HUGHES JUNIPER
	JW	BLUE RUG JUNIPER
<b>7' SPREAD</b>		
	RW	WHITE CATAWBA RHODODENDRON
	MP	DWARF MUGO PINE
<b>ORNAMENTAL GRASSES</b>		
	BA	BLONDE AMBITION BLUE GRAMA GRASS
	LB	LITTLE BLUESTEM
	PS	SHENANDOAH SWITCH GRASS

**BIORETENTION PLANT LIST**

Group A	Common Name	Percentage	
Group A	Showy Black-eyed Susan	16	
	Dogtooth Daisy	12	
	Clover's Root	10	
	Great Blue Lobelia	16	
	Big bluestem	16	
	Indian Grass	16	
	Bluejoint Grass	14	
			100
	Group B	Common Name	Percentage
		Ohio Goldenrod	12
Marsh Milkweed		18	
Butterfly Weed		15	
Boneset		11	
Group C	Common Name	Percentage	
	Heavy Metal Swatgrass	16	
	Canada Wild Rye Grass	14	
	Fringed Brome Grass	14	
			100



KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

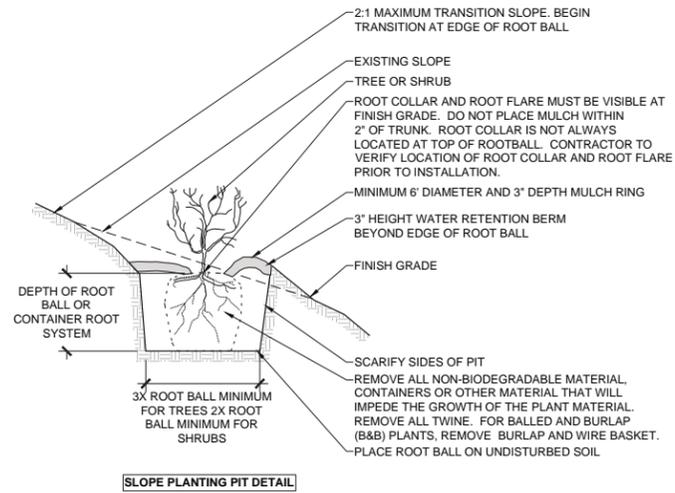
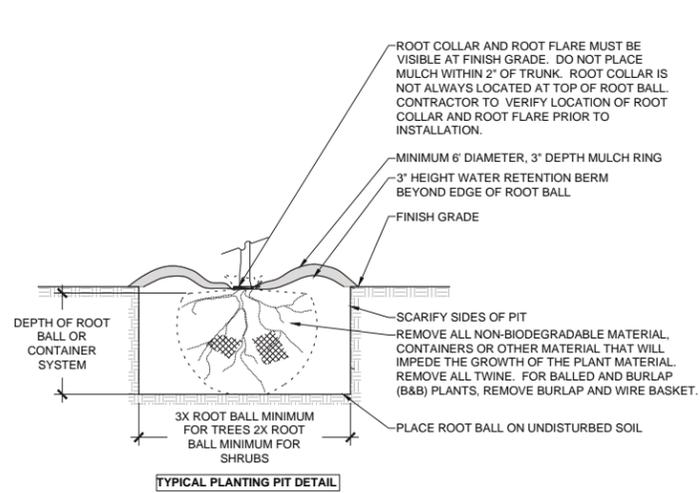


**PLANTING PLAN**  
**CONVENIENCE STORE #1108 WITH DIESEL**  
W260 N9579 WI-164  
TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

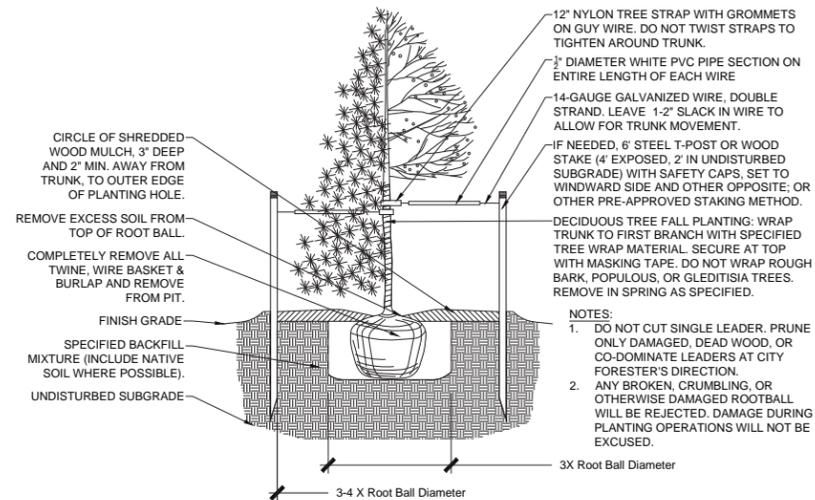
DRAWN BY S. ANDERSON / L. OLSON  
SCALE NOTED  
PROJ. NO. 119.1179.30  
DATE FEBRUARY 5, 2019  
SHEET L 2.2

PLANTING PLAN



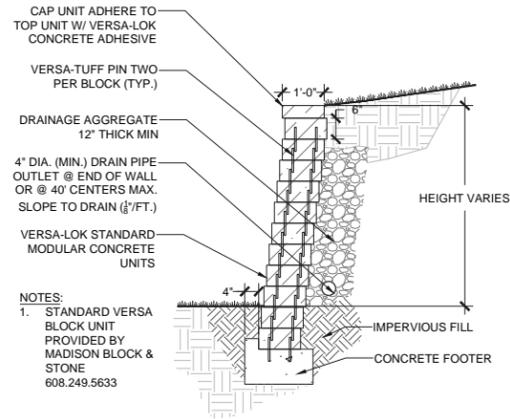
**1 PLANTING PIT**

NO SCALE



**2 TREE PLANTING**

SCALE: 1/2" = 1'-0"



**3 CMU BLOCK RETAINING WALL**

SCALE: 1/2" = 1'-0"

**Kwik TRIP**

**Kwik STAR**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

**S**  
**SNYDER ASSOCIATES**  
5010 VOGES ROAD  
MADISON, WISCONSIN 53718  
608-838-0444

LANDSCAPE DETAILS

CONVENIENCE STORE #1108  
WITH DIESEL

W260 N9579 WI-164  
TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY S. ANDERSON / L. OLSON  
SCALE NOTED  
PROJ. NO. 119.1179.30  
DATE FEBRUARY 5, 2019  
SHEET L 3.0

# Kwik Trip

# Kwik Star

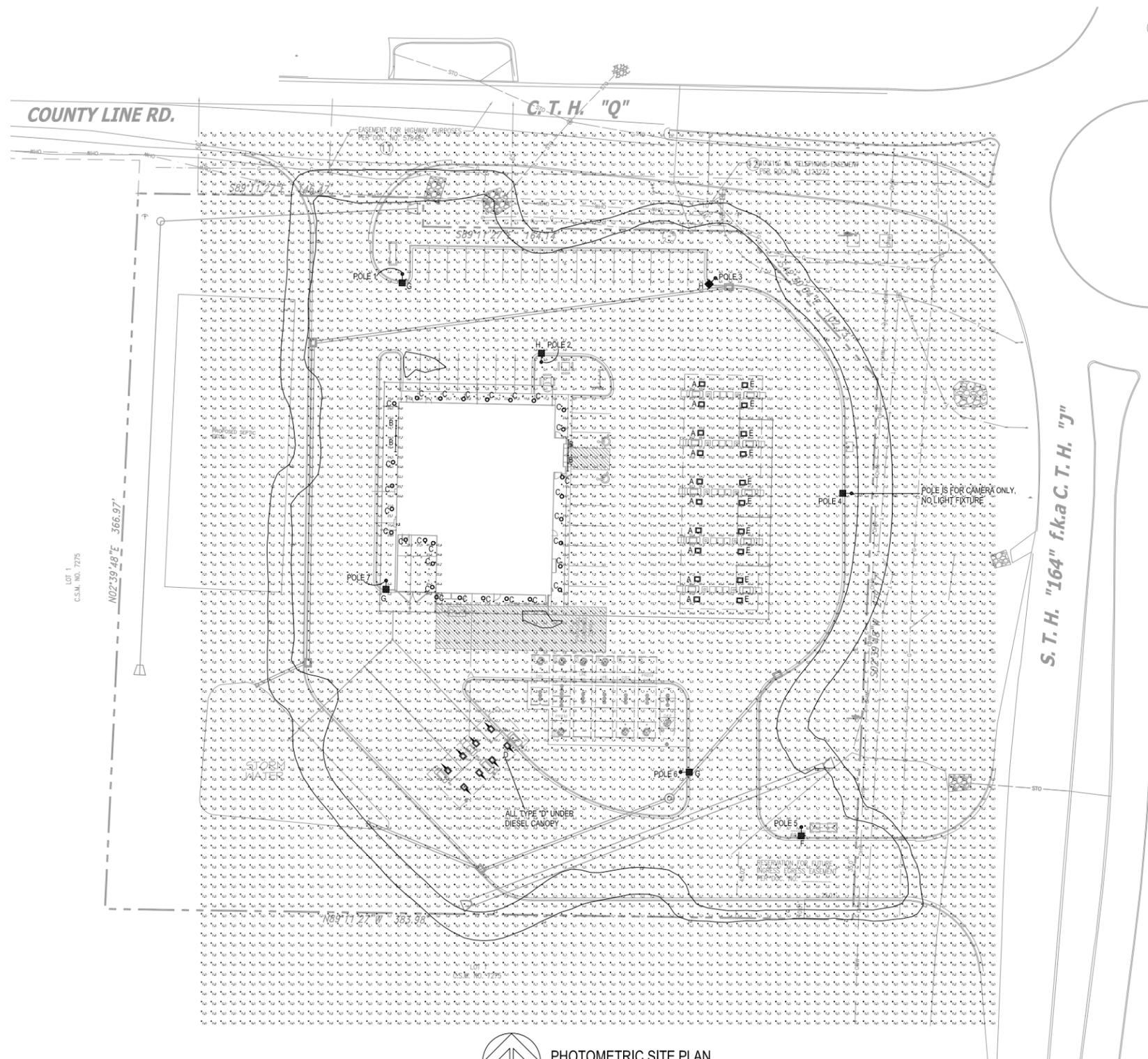
KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**S**  
**SNYDER**  
 & ASSOCIATES  
 5010 VOGES ROAD  
 MADISON, WISCONSIN 53718  
 608-262-0444

PHOTOMETRIC SITE PLAN  
 CONVENIENCE STORE #1108  
 WITH DIESEL  
 W260 N9579 WI-164  
 TOWN OF LISBON, WISCONSIN

#	DATE	DESCRIPTION

DRAWN BY	AMM
SCALE	NOTED
PROJ. NO.	119.1179.30
DATE	FEBRUARY 5, 2020
SHEET	E1



**CALCULATION STATISTICS**

AVERAGE: 4.0fc  
 MAXIMUM: 79.9fc  
 MINIMUM: 0.0fc

**NOTE:**  
 FOOTCANDLE LEVELS SHOWN ON THIS PLAN  
 ARE CALCULATED AT GRADE LEVEL.

**FIXTURE QUANTITIES**

- A - 10
- B - 4
- C - 29
- D - 8
- E - 10
- F - 1
- G - 3
- H - 2

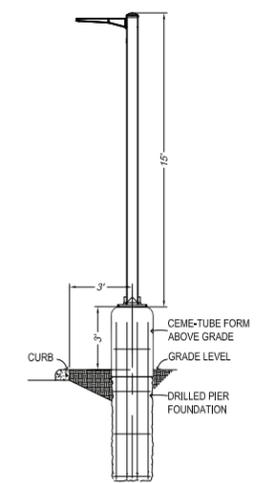
PROVIDE (7) 15' POLES.

**FIXTURE SYMBOLS:**

- A, D & E LED LIGHT MOUNTED UNDER FUEL CANOPIES
- B LED STRIP LIGHT MOUNTED IN GABLE
- C RECESSED LED DOWNLIGHT
- F, G & H POLE MOUNTED LED FIXTURE

**FIXTURE TYPES:**

- A - LSI LIGHTING: SCV-LED-23L-SCFT-UNV-DIM-50-WHT MOUNTED UNDER GAS CANOPY MOUNT FIXTURES WITH FORWARD THROW OPTIC AIMING AT STORE FRONT.
- B - LED STRIP LIGHT MOUNTED IN GABLE LITHONIA-TZL1N496
- C - RECESSED LED DOWNLIGHT GOTHAM EVO-3530-8AR-WD-120-TRW
- D - LSI LIGHTING: SCV-LED-23L-SCFT-UNV-DIM-50-BLK MOUNTED UNDER DIESEL CANOPY MOUNT FIXTURES WITH FORWARD THROW OPTIC AIMING IN DIRECTION OF ARROW.
- E - LSI LIGHTING: SCV-LED-15L-SC-UNV-DIM-50-WHT MOUNTED UNDER GAS CANOPY
- F - LSI LIGHTING: SLM-LED-9L-SIL-3-UNV-50-70CRI-WHT
- G - LSI LIGHTING: SLM-LED-9L-SIL-5W-UNV-50-70CRI-WHT
- H - LSI LIGHTING: SLM-LED-9L-SIL-FT-UNV-50-70CRI-WHT



**LOT LIGHT ELEVATION DETAIL**

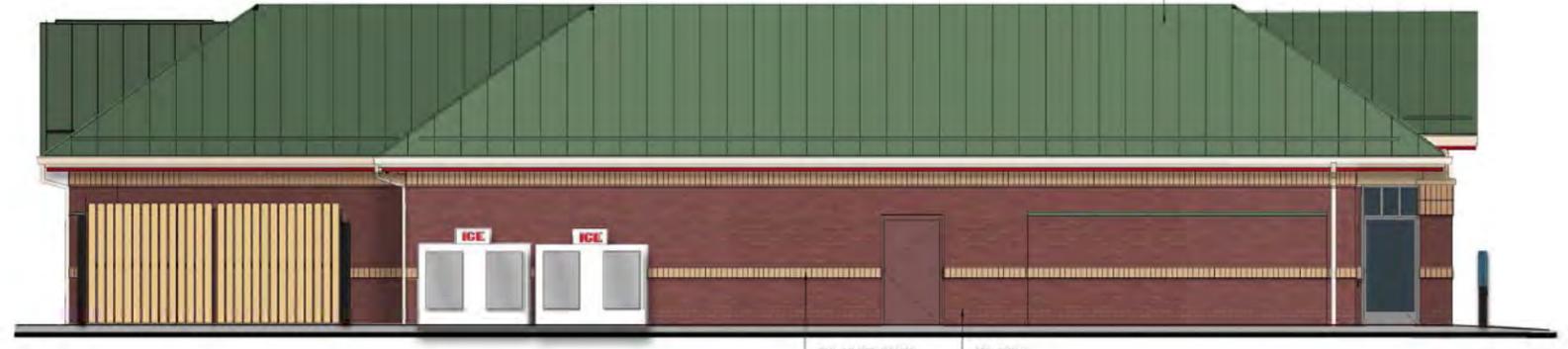
NOT TO SCALE  
 POLE 4 IS FOR CAMERA ONLY, NO LIGHT FIXTURE.

**PHOTOMETRIC SITE PLAN**  
 SCALE: 1" = 30'-0"

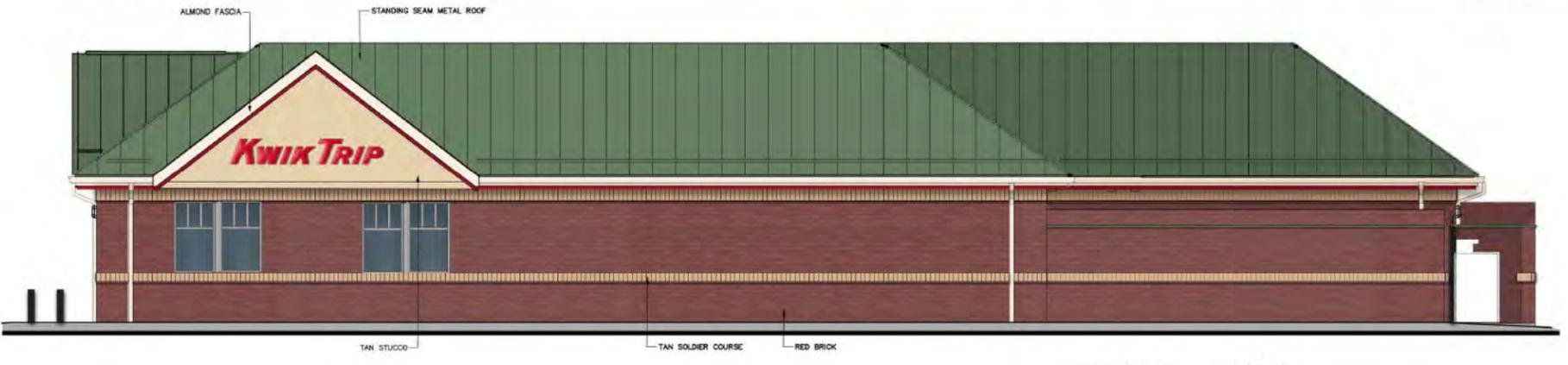
2020-0195.09  
**GRAEF**  
 275 West Wisconsin Avenue, Suite 300  
 Milwaukee, WI 53203  
 414 / 259 1500  
 414 / 259 0037 fax



**1 FRONT ELEVATION**  
 $1/4" = 1'-0"$



**2 LEFT ELEVATION**  
 $3/16" = 1'-0"$



**3 REAR ELEVATION**  
 $3/16" = 1'-0"$



**4 RIGHT ELEVATION**  
 $3/16" = 1'-0"$



KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1628 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8980



1 FRONT ELEVATION



KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

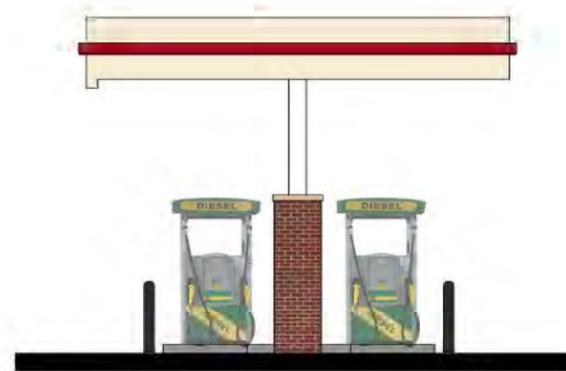
10 MPD  
9' BRICK



2 SIDE ELEVATION



1 FRONT ELEVATION



2 SIDE ELEVATION



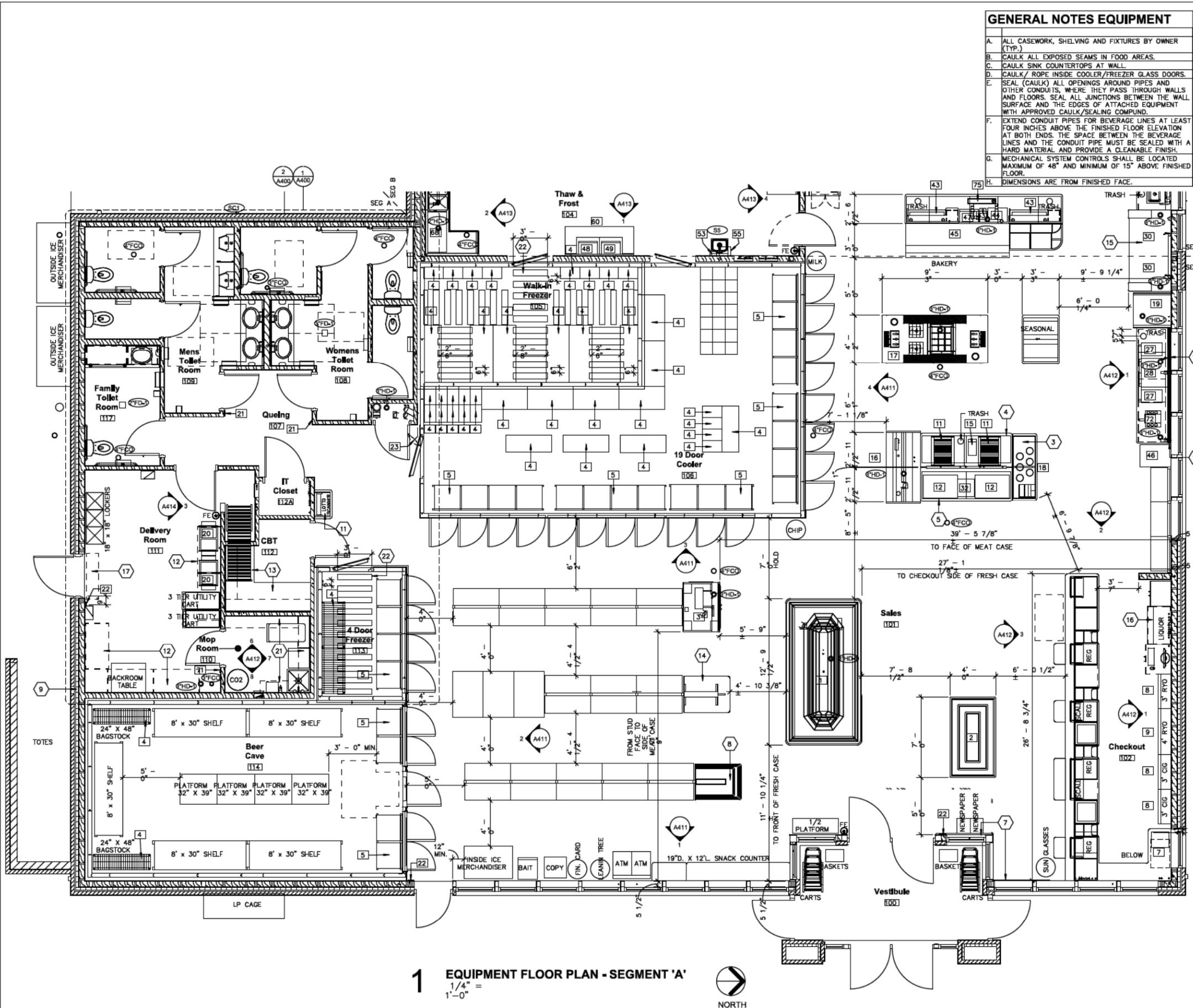
3 REAR ELEVATION

**KWIK  
TRIP**

**KWIK  
STAR**

KWIK TRIP, Inc.  
P.O. BOX 2107  
1626 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8960

2 LANE DIESEL  
9' BRICK



- ### GENERAL NOTES EQUIPMENT
- A. ALL CASEWORK, SHELVING AND FIXTURES BY OWNER (TYP.)
  - B. CAULK ALL EXPOSED SEAMS IN FOOD AREAS.
  - C. CAULK SINK COUNTERTOPS AT WALL.
  - D. CAULK / ROPE INSIDE COOLER/FREEZER GLASS DOORS.
  - E. SEAL (CAULK) ALL OPENINGS AROUND PIPES AND OTHER CONDUITS, WHERE THEY PASS THROUGH WALLS AND FLOORS. SEAL ALL JUNCTIONS BETWEEN THE WALL SURFACE AND THE EDGES OF ATTACHED EQUIPMENT WITH APPROVED CAULK/SEALING COMPOUND.
  - F. EXTEND CONDUIT PIPES FOR BEVERAGE LINES AT LEAST FOUR INCHES ABOVE THE FINISHED FLOOR ELEVATION AT BOTH ENDS. THE SPACE BETWEEN THE BEVERAGE LINES AND THE CONDUIT PIPE MUST BE SEALED WITH A HARD MATERIAL AND PROVIDE A CLEANABLE FINISH.
  - G. MECHANICAL SYSTEM CONTROLS SHALL BE LOCATED MAXIMUM OF 48" AND MINIMUM OF 15" ABOVE FINISHED FLOOR.
  - H. DIMENSIONS ARE FROM FINISHED FACE.

### EQUIPMENT SCHEDULE

#	TYPE
1	FRESH CASE
2	BAKERY SHELF
3	REFRIGERATED MEAT CASE
4	NSF APPROVED SHELVES - COOLERS/FREEZERS
5	NSF APPROVED SHELVES - COOLERS/FREEZERS
7	UTILITY CART
8	3'-0" METAL LIGHTED CIGARETTE MERCHANDISER
9	4'-0" METAL LIGHTED CIGARETTE MERCHANDISER
11	ROLLER GRILL
12	HOT FOOD DISPLAY
14	FIXIN'S CONDIMENT HOLDER
15	CHILI CHEESE DISPLAY
16	PIZZA CASE
17	MULTI-TERRIA CONDIMENT
18	SOUP WELL
19	ICE CREAM NOVELTY CASE
20	BAG-IN-A-BOX RACK
21	ADA 6"X6" MEN/WOMEN SIGNAGE WITH BRAILLE SEE SHEET A403 FOR TYP. LOCATION
22	ADA 3"X6" EXIT SIGNAGE WITH BRAILLE SEE SHEET A501 FOR TYP. LOCATION
23	SECURITY MIRROR
27	MALT BLENDER
28	MALT BLENDER FREEZER
30	FOUNTAIN MACHINE
32	PIZZA WARMER
33	HOT WATER DISPENSER
43	COFFEE CONDIMENT DISPLAY
44	CREAMER
45	BAKERY CASE
46	SMOOTHIE MACHINE
47	MICROWAVE - SNACK
48	MICROWAVE - KITCHEN
49	SCALE/LABEL MACHINE
53	SOAP DISPENSER
55	PAPER TOWEL DISPENSER-KITCHEN
60	6'-0" STAINLESS TABLE
68	42" STAINLESS DRY RACK
71	CO2 SIGNAGE BY OWNER
72	WHIPPED CREAM DISPENSER
75	30" DRIP TRAY

### EQUIPMENT PLAN KEY NOTES

#	Description
1	CAPPUCCINO AND BAKERY ISLAND. SEE DETAIL
2	CONDIMENT DISPLAY (TYP. OF 2). SEE DETAIL
3	SOUP CART. SEE DETAIL
4	ROLLING GRILLE MOVABLE CART. SEE DETAIL
5	HOT FOOD DISPLAY MOVABLE CART. SEE DETAIL
6	BAKERY DISPLAY. SEE DETAIL
7	1'-0" H. X 5'-0" L. WOOD CART BUMPER. MOUNT DIRECTLY ABOVE WALL BASE.
8	PRODUCE CART. SEE DETAIL
9	CO2 FILL W/ 3/4" PEX PIPING TO MOP ROOM. RISE UP EXT. WALL AND FOLLOW CEILING. MOUNT AT 42" A.F.F. R.O. 8 1/8" H. X 7 1/8" W. MIN.
10	NOT USED
11	LOTTO SCANNER. SEE DETAIL
12	8'-0" STANDARDS AT 4" A.F.F. FOR SHELVING (TYPICAL AT 3 WALLS.)
13	32"D. COUNTER MOUNTED 31 3/4" A.F.F. TO TOP
14	BREAD CART. SEE DETAIL
15	FOUNTAIN WALL. SEE DETAIL
16	LIQUOR CABINET. SEE DETAIL
17	AIR CURTAIN UNIT ABOVE.
18	HATCH INDICATES ELECTRICAL RACE WAY.
19	END OF ELECTRICAL FACEWAY. PROVIDE SOLID SURFACE END CAP.
20	SOLID SURFACE TOP ONLY.
21	SHELVES ON MTL STANDARDS AND BRACKETS (VERIFY MTG. HIG. OF STANDARDS SHELVES). SEE INTERIOR ELEVATIONS A412.
22	36" L. X 6" W. GRIP STRIPS ON FREEZER FLOOR. STRIPS TO BE SPACED 6" APART.

**1 EQUIPMENT FLOOR PLAN - SEGMENT 'A'**  
 1/4" = 1'-0"  
 NORTH

**VANMAGE ARCHITECTS, INC.**  
 750 N. Third Street  
 La Crosse, WI 54601  
 Ph (608) 784-2729 Fax (608) 784-2826



KWIK TRIP, Inc.  
 P.O. BOX 2107  
 1626 OAK STREET  
 LA CROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8980

PROJECT TITLE:  
**Store - Gen 2-RH**

PROJECT LOCATION:

JOB #:  
 DATE:  
 DRAWN BY:  
 TYPE:  
 REVISIONS NO. DATE

SHEET TITLE  
 Equipment Floor Plan - Segment 'A'

SHEET NO.  
**A120A**

#	TYPE
14	FIXINS CONDIMENT HOLDER
19	ICE CREAM NOVELTY CASE
22	ADA 3'X6' EXIT SIGNAGE WITH BRAILLE SEE SHEET A501 FOR TYP. LOCATION
27	MALT BLENDER
28	MALT BLENDER FREEZER
30	FOUNTAIN MACHINE
33	HOT WATER DISPENSER
34	ICE TEA MAKER
35	SLUSHEE MACHINE
36	SURESHOT FLAVORSHOT 2
38	COFFEE BREWER
39	COFFEE GRINDER
40	FRANKE FOAMMASTER FM800
41	ICE DISPENSER
42	MIX-3 MACHINE
43	COFFEE CONDIMENT DISPLAY
44	CREAMER
45	BAKERY CASE
47	MICROWAVE - SNACK
48	MICROWAVE - KITCHEN
49	SCALE/LABEL MACHINE

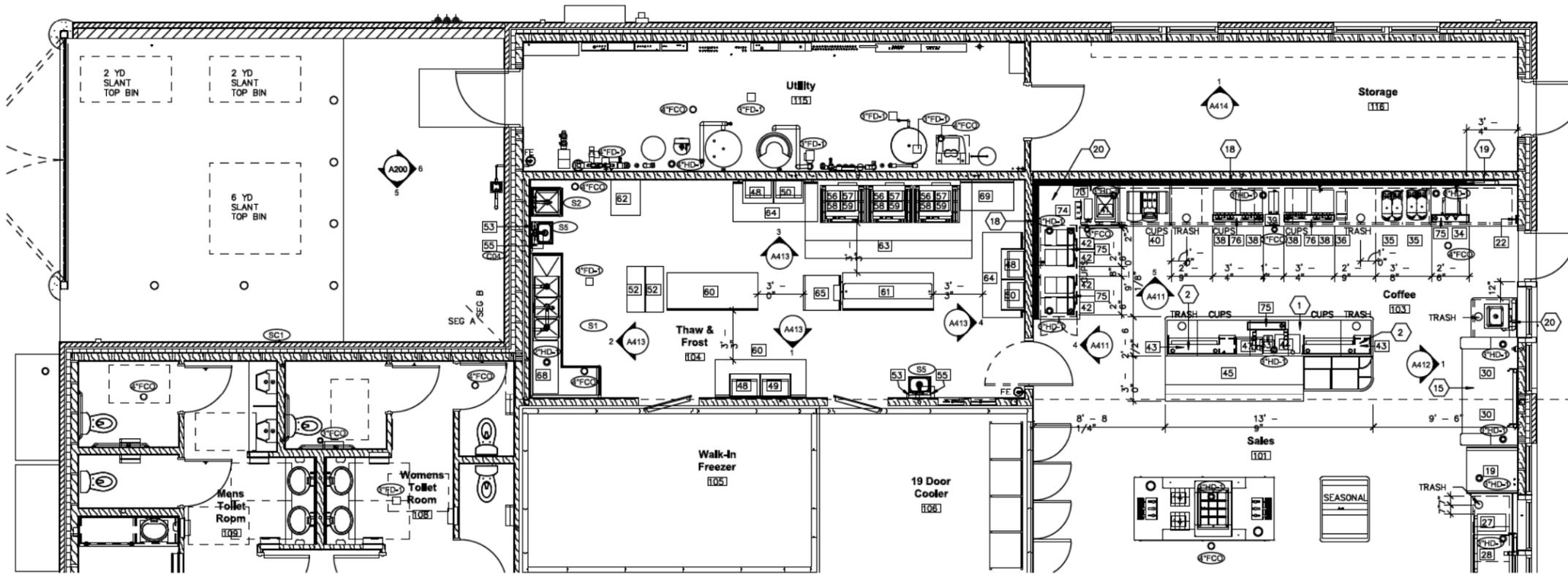
#	TYPE
50	MONITOR
52	BN RACK
53	SOAP DISPENSER
55	PAPER TOWEL DISPENSER-KITCHEN
56	TURBOCHEF IS OVEN RACK
57	TURBOCHEF OVEN
58	TURBOCHEF IS OVEN
59	CART (STAINLESS STEEL)
60	6'-0" STAINLESS TABLE
61	6'-0" STAINLESS TABLE w/ CENTER SHELF ABOVE
62	BAKERY RACK WITH COVER
63	CAPTIVE AIRE HOOD
64	REFRIGERATED PREP TABLE
65	UNDERCOUNTER FREEZER KITCHEN
66	42" STAINLESS DRY RACK
69	2'-0" W. X 3'-6" L. STAINLESS TABLE
73	COLD BREW DISPENSER
74	COLD BREW CUPS
75	30" DRIP TRAY
76	40" DRIP TRAY

### GENERAL NOTES EQUIPMENT

- A. ALL CASEWORK, SHELVING AND FIXTURES BY OWNER (TYP.)
- B. CAULK ALL EXPOSED SEAMS IN FOOD AREAS.
- C. CAULK SINK COUNTERTOPS AT WALL.
- D. CAULK/ ROPE INSIDE COOLER/FREEZER GLASS DOORS.
- E. SEAL (CAULK) ALL OPENINGS AROUND PIPES AND OTHER CONDUITS, WHERE THEY PASS THROUGH WALLS AND FLOORS. SEAL ALL JUNCTIONS BETWEEN THE WALL SURFACE AND THE EDGES OF ATTACHED EQUIPMENT WITH APPROVED CAULK/SEALING COMPOUND.
- F. EXTEND CONDUIT PIPES FOR BEVERAGE LINES AT LEAST FOUR INCHES ABOVE THE FINISHED FLOOR ELEVATION AT BOTH ENDS. THE SPACE BETWEEN THE BEVERAGE LINES AND THE CONDUIT PIPE MUST BE SEALED WITH A HARD MATERIAL AND PROVIDE A CLEANABLE FINISH.
- G. MECHANICAL SYSTEM CONTROLS SHALL BE LOCATED MAXIMUM OF 48" AND MINIMUM OF 15" ABOVE FINISHED FLOOR.
- H. DIMENSIONS ARE FROM FINISHED FACE.

### EQUIPMENT PLAN KEY NOTES

#	Description
1	CAPPUCCINO AND BAKERY ISLAND. SEE DETAIL
2	CONDIMENT DISPLAY (TYP. OF 2). SEE DETAIL
3	SOUP CART. SEE DETAIL
4	ROLLING GRILLE MOVABLE CART. SEE DETAIL
5	HOT FOOD DISPLAY MOVABLE CART. SEE DETAIL
6	BAKERY DISPLAY. SEE DETAIL
7	1'-0" H. X 5'-0" L. WOOD CART BUMPER. MOUNT DIRECTLY ABOVE WALL BASE.
8	PRODUCE CART. SEE DETAIL
9	CO2 FILL W/ 3/4" PEX PIPING TO MOP ROOM. RISE UP EXT. WALL AND FOLLOW CEILING. MOUNT AT 42" A.F.F. R.O. @ 1/8" H. X 7 1/8" W. MIN.
10	NOT USED
11	LOTTO SCANNER. SEE DETAIL
12	8'-0" STANDARDS AT 4" A.F.F. FOR SHELVING (TYPICAL AT 3 WALLS.)
13	32"D. COUNTER MOUNTED 31 3/4" A.F.F. TO TOP
14	BREAD CART. SEE DETAIL
15	FOUNTAIN WALL. SEE DETAIL
16	LIQUOR CABINET. SEE DETAIL
17	AIR CURTAIN UNIT ABOVE.
18	HATCH INDICATES ELECTRICAL RACE WAY.
19	END OF ELECTRICAL FACEWAY. PROVIDE SOLID SURFACE END CAP.
20	SOLID SURFACE TOP ONLY.
21	SHELVES ON MTL. STANDARDS AND BRACKETS (VERIFY MTG. HTG. OF STANDARDS SHELVES). SEE INTERIOR ELEVATIONS A412.
22	36" L. X 6" W. GRIP STRIPS ON FREEZER FLOOR. STRIPS TO BE SPACED 6" APART.



**1 EQUIPMENT FLOOR PLAN - SEGMENT 'B'**  
1/4" = 1'-0"

**VANMAGE ARCHITECTS, INC.**  
750 N. Third Street  
Ph (608) 784-2729  
La Crosse, WI 54601  
Fax (608) 784-2826



KWIK TRIP, Inc.  
P.O. BOX 2107  
1628 OAK STREET  
LA CROSSE, WI 54602-2107  
PH. (608) 781-8988  
FAX (608) 781-8980

PROJECT TITLE:  
**Store - Gen 2-RH**

PROJECT LOCATION:

JOB #:	
DATE:	
DRAWN BY:	
TYPE:	
REVISIONS NO. DATE	

SHEET TITLE  
Equipment Floor Plan - Segment 'B'

SHEET NO.  
**A120B**



# REQUEST FOR CONSIDERATION

**COMMITTEE CONSIDERATION:** Plan Commission

**ITEM DESCRIPTION:** Approval of Annual Mobile Home Park License for American Mobile Home Communities

**PREPARED BY:** Gina Gresch, Administrator

**REPORT DATE:** Thursday, March 5, 2020

**EXPLANATION:**

The American Mobile Home Communities has paid their annual license fee in full, \$662 (331 lots @ \$2/lot) received on Wednesday, February 12, 2020.

I recommend approval and recommendation to the Town Board of the same. Thank you.