



**Agenda  
Plan Commission Meeting  
Town of Lisbon, Town Hall  
Thursday, December 12, 2019  
6:30 PM**

**1. Roll Call**

**2. Comments from citizens present pertaining to items on the agenda.** Citizens are invited to share their questions, comments, or concerns with the Plan Commission. When speaking, citizens should state their name and address for the record and limit their presentation to three minutes. If a response would involve discussion of Plan Commission policy or decisions that might be of interest to citizens not present at the meeting, the commission may place the item on a future meeting agenda.

**3. Discussion and necessary action on November 14, 2019 Plan Commission Public Hearing & Meeting minutes.**

**4. Unfinished Business**

**5. New Business**

- a. Discussion and necessary action on the request from Briohn Design Group & Briohn Building Corp on behalf of Wikoff Color Corporation for the property located on the western portion of N63W22039 County Road "F", LSBT 0241.999, for a Site Plan/Plan of Operation to construct a commercial building on the Industrial portion of the Leid's property.

**6. Town Planner Report**

- a. November & December Planner Appointments

**7. Request from members to request items on future agendas.**

**8. Adjournment.**

Joseph Osterman  
Chairman

Jane Stadler  
Secretary

Posted: 2019-12-06

Clerk: D.G.  
X Website

X Town Hall Bulletin Boards (2)

X Sent to Newspapers

**NOTICE:** It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

**NOTE:** Please notify the Town of Lisbon 72 hours in advance if you plan to attend and will need an interpreter or assistive hearing device.

**MEMBERS:** Please notify Town Hall at 262-246-6100 if you are unable to attend the meeting.

**Minutes of the Plan Commission Public Hearing(s)  
Town of Lisbon, Town Hall  
Thursday, November 14, 2019  
6:30 P.M.**

Public Hearings were held by the Town of Lisbon Plan Commission at the Lisbon Town Hall, W234N8676 Woodside Road, Lisbon, WI 53089 was called to order by Chairman Joseph Osterman at 6:32 P.M.

**Roll Call:** Present: Chairman Joseph Osterman, Supervisor Plotecher, Plan Commission Members Ed Nelson, Mark Meyer, Chad Samanske and Jane Stadler. Also present: Planner Dan Lindstrom, Clerk Dan Green, Supervisor Gamino and Attorney Kathy Gutenkunst. Excused was Bryan Oelhafen.

Chairman Osterman stated the public hearings were published in the Lake Country Now and Northwest Now papers, on the Town's website and on the Town Hall posting boards.

**NOTICE IS HEREBY GIVEN that a Joint Public Hearing will be conducted by the Lisbon Town Board of Supervisors and Plan Commission on Thursday, November 14, 2019 beginning at 6:30 P.M. at the Town of Lisbon Town Hall, W234N8676 Woodside Road, Lisbon, WI 53089 to consider a proposed amendment to the Town of Lisbon Comprehensive Development Plan: 2035. The purpose of the public hearing is to accept public comments on the proposed amendment. An application has been filed by Jim Forester for the property owned by Rightway Bus, LLC, requesting an amendment to the Land Use Plan Map adopted as part of the Town Comprehensive Development Plan. The application requests that the Land Use Plan Map be amended from Rural Density & Other Agricultural Lands to Low Density Residential for the property located at N95W23759 County Line Road, LSBT 0150.997. The Other Open Lands to be Preserved will not be changed. (Rescheduled from October 10, 2019 meeting)**

**Public Hearing Comments:**

**Mike Kinlen N94W23633 Hermitage Drive,** stated his main concern is water drainage. The concept shows a 30 foot drainage easement which goes to Hyde Park Drive. Water drains and runs east to the back side of his property where there are problems with ground water levels. Some residents have multiple pumps on their property. If the new subdivision would make it better he would be in favor but if it is not guaranteed he is not in favor and will seek legal advice if water issues get worse.

**Anthony Valoria, N95W23853 HWY Q,** stated the Town should keep its vision for this property of 5 plus acre lots. He understands there is a low density subdivision to the east but the land to the west is rural density. This will set precedent to rezone the other properties. He expressed concern of the effects of a small town atmosphere going away along with the negative effects on the Bark River, the shorelands and potentially their wells.

**Lisa Odis W220N9523 Town Line Road,** stated she is against this plan. The Town adopted this plan as a long range planning vehicle. She is strongly against this type of development and changing something we put in place already. She was upset she had to find out about the amendment from a community group website. She expressed the need to preserve the natural habitats. She also expressed concern about flooding and the woodland corridor areas.

**Scott Radke N95W23787 County Line Road,** stated he canvassed the neighborhood and most are against it. He also expressed concerns about the water table, aesthetics, and traffic including construction traffic.

**Sara Valoria N95W23853 HWY Q,** is opposed to the Comprehensive Plan amendment and this is an

example of the Town not protecting its resources. She explained the long range plan is to add parks and preserve lands along the Bark River. If allowed, this would be doing the opposite. She also expressed concern with low density 20,000 square foot lots.

**Dawn Hockerman, N95W23719 Hermitage Dr,** stated she was opposed to rezoning. She wants to keep the small town feel. She stated the Town fought to stay independent and asked if the Town needs to grow any further. She also expressed concern for the wells fed by Bark River and the increase in police and fire services.

**Jeff Ellner N91W24192 Crooked Bridge Court,** is opposed to amendment. Mr. Ellner referenced Arrowhead Park and criticized the large houses on small lots. He also questioned how many more houses would be taking water out of the aquifer. He asked if there had been a study done on the well. He also questioned if studies had been done on traffic and schools in the area.

**Eric Schmitt N88W24240 North Lisbon Road,** is opposed to the Comprehensive Plan amendment. He stated he moved to Lisbon 4 years ago for the rural setting. He stated he is not against development, but wants to keep the rural density of 5 acres.

**Sue Miller N87w24189 North Lisbon Road,** stated she was opposed to the plan change. She likes living in a rural area, but now traffic has made it unsafe in her neighborhood. She expressed concern that traffic will only get worse with more development.

**Mellissa Fenninger, N91W24201 Crooked Bridge Court,** agrees with everything that was said previously. She moved to Lisbon 17 years ago and loves the aesthetics. She expressed concerns about wells and about bringing crime in with more residential development.

**Dan Fischer W265N2995 Thousand Oaks Drive,** stated he is opposed to the Comprehensive Plan change. He does not like the piece-meal rezoning process. He feared the trend seems to be going to smaller and smaller lots.

**Gail Neuens, N88W24944 North Lisbon Road,** stated she and her husband are both against the rezoning. They like larger lot sizes and expressed concerns with traffic since the 164 project started. She also had concerns about the Bark River being preserved.

**AJ Ludwig, N90W24279 Crooked Ridge Drive,** expressed concerns with the wells. There have also been issues with speeding and drivers running through stop signs. He stated the safety of other drivers and pedestrians are concerns along with crime concerns including examples of theft in the area.

**Laurie Laubenheimer, W237N9333 Monticello Dr.,** is opposed to the Comprehensive Plan amendment and expressed concerns about the wells. She questioned if testing could be done. She also expressed concerns about traffic and safety.

**Mary Lerch, N88W23462 North Lisbon Road,** explained she is against the Comprehensive Plan amendment and agrees with the current land use of 5+ acre parcels.

**Sara Bastian, W229N9414 Colgate Road,** agrees with traffic concerns that were previously stated. She explained she has a difficult time turning right onto Highway Q and adding more families will create more traffic and longer bus rides for her children.

**Kim McCarty, W237N9477 Mr. Vernon,** expressed concerns with traffic. She stated she walks her dog and it is becoming more and more dangerous to do. She stated it is not possible to walk a dog along North Road anymore.

**Dawn Hockerman, N95W23719 Hermitage Dr**, asked if there was a way to put this item to a vote of the people or to bring this to a referendum. She expressed she wanted to have a vote as a referendum of the whole Town of Lisbon.

**Lisa Odis W220N9359 Town Line Road**, also asked that the Commission put this item on a referendum.

Chairman Osterman opened the hearing to comments from the public, which there were none. The public hearing was closed at 7:08 PM.

**NOTICE IS HEREBY GIVEN that a Joint Public Hearing will be held by the Lisbon Plan Commission and Town Board of Supervisors on Thursday, November 14, 2019, beginning at 6:30 P.M. following the previously scheduled hearing at the Lisbon Town Hall, W234N8676 Woodside Road, Lisbon, WI 53089, to solicit public comments on the proposed amendments to the text of the Town of Lisbon Zoning Ordinance in accordance with Wisconsin State Statutes including, Chapter 11, Sections 27 and 28, relating to the Commercial Special Use Zoning Districts, and proposed amendments to the text of the Town of Lisbon Zoning Ordinance in accordance with Wisconsin State Statutes, re-adopting Ordinance 01-18 related to Planned Unit Developments as an overlay district in the Town of Lisbon.**

**Public Hearing Comments:** Chairman Osterman opened the hearing to comments from the public, which there were none. The public hearing was closed at 7:09 PM.

**NOTICE IS HEREBY GIVEN that a Public Hearing will be held by the Lisbon Plan Commission on Thursday, November 14, 2019, beginning at 6:30 P.M. following the previously scheduled hearing at the Lisbon Town Hall, W234N8676 Woodside Road, Lisbon, WI 53089, to solicit public comments on a Conditional Use Permit request for a Bed and Breakfast for Jeremy and Lori Rush, for the property located at N72W24740 Good Hope Road, Lisbon, WI 53089, LSBT 0203.994.005, PARCEL B CERT SURV 3433 VOL 26/77 REC AS DOC# 1068979 PT SW1/4 SEC 15 T8N R19E.**

**Public Hearing Comments:** Chairman Osterman opened the hearing to comments from the public, which there were none. The public hearing was closed at 7:10 PM.

### **Adjournment**

The public hearing was adjourned at 7:10 P.M.

**Minutes of the Plan Commission Meeting  
 Town of Lisbon, Town Hall  
 Thursday, November 14, 2019  
 Following the Public Hearing beginning at 6:30 P.M.**

**Roll Call:** Present: Chairman Joseph Osterman, Supervisor Plotecher, Plan Commission Members Mark Meyer, Jane Stadler, Chad Samanske and Ed Nelson. Also present: Planner Dan Lindstrom, Attorney Kathy Gutenkunst and Clerk Dan Green. Excused was Bryan Oelhafen.

**Comments from citizens present pertaining to items on the agenda.** None.

**Discussion and necessary action on October 10, 2019 Plan Commission Public Hearing & Meeting minutes.**

*Motion by Commissioner Samanske to approve the October 10, 2019 Plan Commission minutes. Seconded by Commissioner Nelson. Motion carried, 5-0. Commissioner Meyer Abstaining.*

### **New Business**

**Discussion and necessary action on Resolution 16-19, Resolution Amending the Town of Lisbon Land Use Map from Rural Density and Other Agricultural Lands and Other Open Lands to Low Density Residential (Other Open Lands to be Preserved will not be changed), for the request of Jim Forester for the property owned by Riteway Bus LLC, for the property located at N95W23759 County Line Road, LSBT 0150.997 and recommendation to the Town Board of the same. (Rescheduled from October 10, 2019 meeting)**

Planner Dan Lindstrom explained that staff was taking notes through the public hearing and will be available to answer those questions. He led with a couple of points of clarification. He first explained that tonight's meeting is not to take action on a rezone. This is a Comprehensive Plan amendment only. As far as a referendum which was mentioned earlier, the process for a comprehensive plan amendment is a formal process and those same procedures should be followed for all applications. Jim Forrester explained the proposal is for a residential, single family development to mirror the subdivision to the east with the same acreage. He stated he did not have stormwater plans or a formal layout, he only proposed a conceptual at this point. The Comprehensive Plan is the first step in the process.

Planner Lindstrom also explained that stormwater and traffic concerns are addressed during the platting process. The stormwater plans are dictated by Waukesha County at a later date. Building in wetland areas are also concerns that are addressed at the platting process and are also reviewed by Waukesha County. As far as concerns about land density, the land use reflects 20,000 square feet lot minimums. The Town Zoning Code, however, dictates the actual size through which is one acre density. The conceptual plan actually shows an overall density of 1.4 acres. You are able to go above the low density designation but are not able to go below the limit. He also explained the current land use is 5 acres, but you can have smaller lots than that, as long as your overall density of 5 acres is met.

Chairman Osterman found an old Zoning Code in which the plan shows this area as A-2. The density in A-2 was 30,000 square foot lot sizes. He questioned what changed in 2008 that changed our map to A-10. Commissioner Stadler explained at the time the County was trying to preserve the rural theme of the area. Waukesha County had a rule that the Town was governed by and told us what we could do. A certain percentage of the land had to be in agricultural A-10. The Town did not have a choice in this amendment process. Chairman Osterman explained that the Town is supposed to be at 5 acre density in total and currently we are at 3.5 acre density.

Chairman Osterman also explained that in the subdivision to the east there is a dead end (Hyde Park). The Fire Department planned this as potential access to that subdivision. The future land use was then amended after the subdivision was put in.

Commissioner Meyer stated that this point of the process does not address the concerns of traffic and safety issues. The subdivision to the east has smaller lots than what is being proposed. He explained the applicant is asking to go back to a density that was at one time allowed. He stated he can see both sides and understands the concerns that were brought forward. He explained that water issues have not been a concern with recent subdivisions and most new developments have led to improved drainage with the retention ponds that are in place. He used an example of Barnwood which has improved the neighbors adjacent to it. He also explained when he first read into the matter he did not expect much opposition considering its density and that it is harmonious with the development to the east. He also explained that the process seems backwards at times; however a developer is not going to spend money on traffic and water studies before first having a path to move forward.

Commissioner Stadler expressed her biggest concern is the traffic. She explained there are now talks about a round-a-bout on Hillside and HWY Q and that this is adding a significant amount of houses which will add

to traffic numbers. She agreed with Commissioner Meyer's comments but still has a concern with traffic. She agreed that water usually is not an issue between working with the Town and County engineers and our code dictates you cannot add water to surrounding properties, more than what was previously there.

Chairman Osterman also added that the Town has gotten much better with stormwater as a Town. He explained that the parcel in question do not touch the Bark River, but there is some Shoreland Zoning which is governed by Waukesha County. The biggest issue here is that the zoning was changed to A-10. The majority of the time that residents have lived in this area this property was zoned A-2. He also explained that the Town has not usually had much kick back from residents with 1 acre density lots in the past as that is what residents have wanted. He also explained that the subdivision to the East has a lot of densities with some lots being as small as .67 acres. He also agreed with Commissioner Meyer's comments that sometimes the process is a little backwards, but if the Town does not approve the amendment, the process will end right here.

Commissioner Stadler and Supervisor Plotecher explained that Waukesha County required the Town to change the zoning designation from A-2 to A-10. Attorney Gutenkunst explained that at the time the County wanted all communities to be at 5 acre densities, but at the time before the change this area could have been developed at the same density as the subdivision to the east.

Planner Lindstrom explained the Town had an applicant go through the same process on Lisbon Road. Chairman Osterman stated if you live next to an open field and you want to preserve it, you should purchase it yourself. He also is aware of traffic concerns but stated a traffic study should not be required for a comprehensive plan amendment. Attorney Gutenkunst stated this is a balancing act between the property rights of the owner and the neighbors. She also referenced Barnwood as the neighbors in that subdivision were also against that development. This proposal is harmonious with the subdivision to the east.

Chairman Osterman addressed a comment about Lisbon not wanting to be like Sussex. He stated that we are not. He explained that 20,000 square foot density is not what is going to happen in this development. The Town would approve 1 acre lots and there is no sewer or water coming to this area. Sussex is developing ¼ acre lots. Jim Forester stated he wanted to move forward in the spring or summer of next year. He explained he did not have to give a conceptual plan, but wanted to be transparent. He explained his other development, Twin Pine Farms, improved stormwater issues those neighbors had.

Planner Lindstrom explained the applicant had a DRT meeting with the County and will submit a rezone through the Town parallel to submitting a rezoning with Waukesha County. Waukesha County only updates the Comprehensive Plan Map once a year typically.

Commissioner Nelson explained that residents should not necessarily shut the door on new people moving in as everyone came from another place and moved to the Town. People are not moving to the Town with the intention of increasing crime and traffic just as our current residents did not. Mr. Nelson explained he would like to see this as a conservancy subdivision.

Commissioner Meyer asked the applicant if he considered to a planned unit development. Mr. Forrester explained that a PUD would not work in this area and is not economical. Commissioner Samanske questioned why the zoning was changed to A-10. Supervisor Plotecher explained that at the time of the change her current property was zoned A-2 and was changed to A-10. Attorney Gutenkunst explained that there is still a long process ahead for this to be approved including three committees through Waukesha County. Chairman Osterman explained that if the Comprehensive Plan Amendment is approved this will open the door for a rezone which will follow after.

Dan Fischer asked The Town can make a change if they do not understand why the change occurred in the first place. Attorney Gutenkunst stated the Commission could table this item or move it to the Town Board so that staff could have time to review this with Sandy Scherer and discover exactly why the change occurred. Commissioner Stadler stated that the Commission has all of the information and has no further question that can be answered at a future meeting. She explained that they have to consider future changes to the properties to the west.

Planner Lindstrom made a point of clarification. The first, the Comprehensive Plan was adopted in 2009. The Town may want to consider doing a full review of the Comprehensive Plan as it has been ten years since the last change. Chairman Osterman asked that Planner Lindstrom and Clerk Green reach out to Sandy Scherer so she can explain the reasons for the change in the land use plan in 2009. If the Plan Commission moves forward with this amendment, the Town Board will review this. He stated the next Town Board meeting will be on Monday, November 25, 2019 at 6:30 P.M. The Town will make sure that someone from Waukesha County will be present.

*Motion by Commissioner Meyer to approve Resolution 16-19, Resolution Amending the Town of Lisbon Land Use Map from Rural Density and Other Agricultural Lands and Other Open Lands to Low Density Residential (Other Open Lands to be Preserved will not be changed), for the request of Jim Forester for the property owned by Riteway Bus LLC, for the property located at N95W23759 County Line Road, LSBT 0150.997 and recommendation to the Town Board of the same. Seconded by Supervisor Plotecher. Motion carried, 5-1 with Ed Nelson opposing.*

**Discussion and necessary action on the request from Jeremy Rush for the property located at N72W24740 Good Hope Road, LSBT 0203.994.005, for the following:**

**i. Conditional Use Permit Amendment for a Bed & Breakfast**

Planner Lindstrom explained this Conditional Use is for a Bed and Breakfast. This is related to the discussion of short term rentals that was had at the Town Board. The applicant has submitted a Bed and Breakfast request for their historical property. They have received a permit from Waukesha County for this use. This is different than a short term rental in that our Zoning Code clearly defines a bed and breakfast. The applicant has also submitted their plan of operation along with a sign permit application. They wanted to make sure they provided you as much information as possible. The Conditional Use will be forwarded to the Town Board for approval. The property owner is Jeremy and Laurie Rush who are here to speak on their application. Before the applicant came forward Planner Lindstrom reviewed his prescribed standards of approval.

- A. *Minimal outward modification of the structure or grounds may be made only if such changes are compatible with the character of the area or neighborhood and the intent of the zoning district in which it is located. For building with significant architectural or historical value, the architectural integrity and arrangement of existing interior spaces must be maintained and the number of guest rooms shall not be increased except as may be required to meet health, safety, and sanitation requirements.*
- B. *Off-street parking shall be provided at the rate of one (1) parking space for each room rented and two (2) spaces for the owner/occupant. The front yard shall not be used for off-street parking for temporary guests unless the parking area is screened from view with natural plant material, and found to be compatible with the neighborhood.*
- C. *The number of rooms shall be limited to five (5) sleep-in rooms or less, excluding those used by the occupants of the facility, and no room may contain more than two (2) beds. There must be at least five hundred (500) square feet of gross interior floor area for each sleeping room. These facilities providing service to a greater number of guests are not considered "license exempt" under state law and must comply with state hotel/motel restaurant licensing procedures administered by the County or State Health Department. The issuance of such licenses shall not be considered as conferring non-conforming commercial status to the use that would either allow alterations of the facility or otherwise compel rezoning of the property for commercial use beyond the scope of this section.*
- D. *One (1) on premise sign may be allowed provided that such sign is compatible with the residential use of the site and its surrounding areas and is not more than fifteen (15) square feet in size with letter sizes not less than five (5) inches in height.*

- E. All necessary state and county permits, certifications, or requirements shall be obtained as a condition of approval of a bed and breakfast facility.*
- F. Room rentals to families or individuals shall not exceed fourteen (14) consecutive days during any thirty-day (30) period.*
- G. The bed and breakfast facility must be accessory to and contained within the single-family dwelling occupied by the owner (e.g., not a manager) of said premises.*
- H. The only meal to be provided to travelers/guests shall be breakfast and it shall only be served to guests taking overnight lodging in the facility.*
- I. The Waukesha County Department of Parks and Land Use - Environmental Health Division (EHD) shall examine both the water system and the sewage disposal system, and shall conduct a general health and safety inspection of the proposed facility. The EHD may impose any conditions required to ensure that all necessary health and safety standards have been met. The applicant shall not initiate any construction activity and other improvements related to the bed and breakfast facility; or begin operation of the facility until a determination, in writing, by the EHD that the necessary inspections have been completed and any deficiencies have been corrected. The proprietor shall have a water quality evaluation conducted by a recognized water testing laboratory on an annual basis following the certification of adequacy by the EHD. The results of that test shall be submitted to the EHD with a copy to the town building inspector.*
- J. The physical development and operation of the conditional use must conform, in all respects, to the approved plan of operation*
- K. The Town of Lisbon retains the right to annually review the CUP for compliance with approved plans.*
- L. The existing buildings proposed to house a conditional use must be constructed and maintained to meet the current requirements of the applicable sections of the Wisconsin Commercial Building Code.*
- M. The Applicant shall apply for, receive, and maintain all other legally required and applicable local, county, state, and federal permits. Copies of approved permits or other evidence of compliance will be provided to the Town upon request.*
- N. The owner or operator must keep a copy of the conditional use permit, including the list of all conditions, on the site, available for inspection to the public.*
- O. The Building Inspector shall inspect the premises to ensure the site is in compliance with the respective building codes. Non-objection from the Building Inspector and correction of any deficiencies prior to issuance of CUP.*
- P. All vehicles must access the site through the approved driveway.*
- Q. This Conditional Use Permit is non-transferable to any future property owner without a new Conditional Use Permit approval and issuance by the Town. The sale of any portion of the subject property shall terminate this Conditional Use Permit.*

- R. *The Waukesha County Environmental Health Division may review and approve of the uses on the subject property, prior to the issuance of any permits.*
- S. *If any aspect of this Conditional Use Permit or any aspect of any plan contemplated and approved under this Conditional Use is in conflict with any other aspect of the Conditional Use or any aspect of any plan of the Conditional Use, the more restrictive provision shall be controlling as determined by the Town Plan Commission and the Waukesha County Park and Planning Commission.*
- T. *The approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new CUP and Site Plan/Plan of Operation permit with all the zoning procedures at the time of being followed. Any use not specifically listed as permitted shall be considered to be prohibited, except as may be otherwise specified herein.*

Mr. Rush, the property owner explained that they chose this location because of the history of the home. They had gone through the Conditional Use Permit process for an in-law unit and later amended that Conditional Use for the use of the upstairs area. He explained that they did receive a license from Waukesha County. The room is 560 square feet and they have made improvements to the upstairs area. Laura Rush reviewed the operations of the bed and breakfast and spoke about the history of the home. She provided a brochure to the Commission and explained she would be happy to answer any questions the Commission had.

Commissioner Nelson asked how many rooms would be rented out. The applicant stated there would be a sleeping room, a lounge area and a kitchen. There will only be one guest staying at a time and no children will be allowed. Supervisor Plotecher asked if the original intention of renovating the upstairs was for their son. They explained that this was the original intention, but as all these renovations became costly they found this use to be beneficial to them.

*Motion by Commissioner Nelson to approve the request from Jeremy Rush for the property located at N72W24740 Good Hope Road, LSBT 0203.994.005 for a Conditional Use Permit Amendment for a Bed and Breakfast and recommend to the Joint Plan Commission and Town Board of the same. Seconded by Commissioner Samanske. Motion carried, 6-0.*

## ii. Sign Permit

Planner Lindstrom explained that the sign met the standards of the Town but the location would need to be moved onto the property and out of the right of way.

*Motion by Commissioner Nelson to approve the request from Jeremy Rush for the property located at N72W24740 Good Hope Road, LSBT 0203.994.005 for a sign permit contingent on the Planner's recommendations. Seconded by Commissioner Samanske. Motion carried, 6-0.*

## **Discussion and necessary action on the request from Frank Gross, for the property located at N80W23792 Plainview Road, LSBT 0187.998.009, for a four lot Certified Survey Map and recommendation to the Town Board of the same.**

Planner Lindstrom explained this is a request for a 4-lot Certified Survey Map which originally came to the Plan Commission about 10 years ago. At the time the applicant worked through the process which stalled when it got to Waukesha County. Planner Lindstrom explained he reviewed the CSM and provided his review to the surveyor. The site is adjacent to Plainview Road. He explained there is Waukesha County Shoreland on the northern part of the lots. Waukesha County also provided comments as well as the Town Engineer. Dan reviewed his conditions of approval.

- Sec. 4.01(d) requires land dividers to use a scale of no more than 100 feet to one inch. All pages except Page 1 of the CSM adhere to this requirement. Page 1 uses a scale of 150 feet to one inch. This is acceptable as a way of showing the full site on one sheet.
- Sec. 4.01(f) requires land dividers to show ownership of all lands contiguous to the proposed CSM owned or controlled by the sub-divider or owner, even if only a portion of said area is proposed for immediate development. The first page can be at a smaller scale to include the additional lands owned by the applicant.
- Sec. 4.02(b) requires land dividers to show existing and proposed topographic contours of no more than two-foot intervals on all lands to be subdivided. The Applicant shall amend the CSM to show these on at least one of the sheets.
- Sec. 4.02(m) requires land dividers to show the existing zoning on and adjacent to the proposed subdivision. The Applicant shall amend the CSM to show the existing zoning district on its face.
- Sec. 4.02(p) requires land dividers to show soil type, slope, and boundaries in accordance with U.S. Soil Conservation Service. The Applicant shall amend the CSM to show these elements.
- Sec. 4.02(r) requires land dividers to show the location of soil tests. The Applicant shall amend the CSM to show legend to document the test locations.
- Sec. 5.02(k) requires land dividers to show septic systems with preplanned locations on the CSM. If applicable, the Applicant shall amend the CSM to show them.
- Sec. 7.06(e) states that depth to width ratio shall not exceed 2.5 to 1. All four lots have a depth greater than 2.5 times the width. The Applicant shall either amend the CSM to comply with this requirement or seek a waiver from the Plan Commission.
- CSM shall read as a re-division of Lot 2.
- Update SEWRPC dates in relevant notes to read September 2019.
- Joint driveway easement agreements between the Applicant and the owners of proposed lot 1 and Lot 2 and proposed Lot 3 and 4 are required prior to the approval of the CSM. Plan Commission and Town Attorney shall review the Joint Driveway Agreements. Agreement review may also be required from the Waukesha County Public Works Department.
- The CSM shall be submitted to the Village of Sussex for review and approval, as it lies within the 1.5-Mile Extraterritorial Jurisdiction boundary limit.
- Approval shall be subject to the approval of a stormwater management plan found to be acceptable by the Town Engineer and Waukesha County Land Resources Division.

Commissioner Nelson asked what the applicant was looking to do with the property. Mr. Gross explained he plans to sell these lots. Planner Lindstrom explained this area is zoned A-3 and this divide will meet the zoning requirements. He also explained that the Plan Commission would need to grant a waiver for the width of the lots. Section 7.06(e) states the depth to width ration shall not exceed 2.5 to 1 which these lots will exceed. He explained the reason is due to the building envelope of the lots with the amount of Shoreland zoning to the north which makes portions of these lots unbuildable.

*Motion by Commissioner Nelson to approve request from Frank Gross, for the property located at N80W23792 Plainview Road, LSBT 0187.998.009, for a four lot Certified Survey Map and waiving the depth to width requirements outlined in Section 7.06(e), contingent on the Planner and Engineer's comments and*

*recommendation to the Joint Planning Committee and the Town Board of the same. Seconded by Commissioner Samanske. Motion carried, 6-0.*

**Discussion and necessary action on Ordinance 19-19, an Ordinance amending Chapter 11, Section 27 of the Town Zoning Code related to the B-4 Commercial Special Use Zoning District and recommendation to the Town Board of the same.**

Attorney Gutenkunst stated this Ordinance was prepared by Attorney Hammes who recommends approval. This ordinance lists the permitted uses and reinstates the design standards for the B-4 district. This recommendation comes from a conversation with Waukesha County regarding the Lied's property.

*Motion by Chairman Osterman to approve Ordinance 19-19, an Ordinance amending Chapter 11, Section 27 of the Town Zoning Code related to the B-4 Commercial Special Use Zoning District and recommendation to the Town Board of the same. Seconded by Commissioner Meyer. Motion carried, 6-0.*

**Discussion and necessary action on Ordinance 20-19, an Ordinance amending Chapter 11, Section 28 of the Town Zoning Code related to the B-P Industrial/Business Park Special Use Zoning District and recommendation to the Town Board of the same.**

Attorney Gutenkunst explained this is similar to Ordinance 19-19 and stems from the discussion with Waukesha County. This ordinance also maintains the design standards in this district.

*Motion by Chairman Osterman to approve Ordinance 20-19, an Ordinance amending Chapter 11, Section 28 of the Town Zoning Code related to the B-P Industrial/Business Park Special Use Zoning District and recommendation to the Town Board of the same. Seconded by Commissioner Nelson. Motion carried, 6-0.*

**Discussion and necessary action on Ordinance 18-19, an Ordinance re-adopting Ordinance 01-18 related to Planned Unit Developments as an overlay district and recommendation to the Town Board of the same.**

Planner Lindstrom explained this item was originally approved last year and is back due to some points of clarification from Waukesha County. The Town is looking to reestablish those changes.

*Motion by Chairman Osterman to approve Ordinance 18-19, an Ordinance re-adopting Ordinance 01-18 related to Planned Unit Developments as an overlay district and recommendation to the Town Board of the same. Seconded by Commissioner Meyer. Motion carried, 6-0.*

**Discussion and necessary action on the request from Preserve at Harvest Ridge, LLC for the property located at LSBT 0264.998.002, or the following:**

**iii. Developer's Agreement**

Planner Lindstrom explained the Developer's Agreement and the Final Plat are being brought forward for final approval. The Developer's Agreement has gone back and forth with the attorney and developer as we look at phasing out the development for the Parade of Homes. The Final Plat will show a two phase development, but due to the weather, the developer was not able to complete paving on the entire first phase. With this the Town has created a "sub phase" which will encompass those lots that will be used for the Parade of Homes. Planner Lindstrom also explained that the developer had been given the authority by the Town Board to begin grading the site early.

The developer, Steve DeCleene explained that the month of October and November have been tough with unusually saturated conditions. He explained they have stormwater facilities established. They have also done a base layer of paving on the first portion of phase I and will begin the second portion of this phase in the next two months and hopefully be paved in April or May. He explained that outlots 1 thru 3 will be

completed as part of the "Parade" phase and every lot owner will own a portion of the outlots. Commissioner Stadler asked what the deadline is for putting in roads which Engineer Mitch Leisses explained was October 18 according to the DOT. After that date, it is up to the Town's Engineer to approve. He also explained that at cold temperatures there are additives to help keep the heat in the pavement. To avoid the frost they also are placing salt on the aggregate. Mr. Leisses explained he will do a walk through on the site and mark any areas that have failed and have them redone if/when it is feasible.

Outlots 1-3 stormwater will be completed as part of the parade phase. Included every lot owner will own a portion of the outlots. Jane, what is the date that roads are put in? Mitch, DOT lists 10/18 as the date paving should be completed. From that point on it is engineer's approval. AT this time of year, there are additives to help keep the heat within that and make it place able on the site. Trying to avoid frost setting in the ground, they have placed salt on the aggregate. You do not want to place pavement on the frozen ground. Mitch will do a walkthrough of the site and mark any areas that have failed and have them redo when feasible.

*Motion by Chairman Osterman to approve the Developer Agreement for Preserve at Harvest Ridge, LLC for the property located at LSBT 0264.998.002 contingent on the recommendations of the Town Planner, Town Attorney and Engineer and recommend to the Town Board of the same. Seconded by Commissioner Nelson. Motion carried, 5-0. Commissioner Stadler abstained.*

#### **iv. Final Plat**

Planner Lindstrom explained he gave an updated letter to Neumann with some minor corrections and those corrections have been updated by the applicant. The civil plans have been reviewed by the engineer. Mr. Lindstrom explained he will be doing some follow up with Waukesha County on the Lisbon Road right of way dedication as the property owner to the east was different than what is proposed on the Final Plat.

*Motion by Commissioner Nelson to approve the Final Plat for Preserve at Harvest Ridge, LLC for the property located at LSBT 0264.998.002 contingent on the recommendations of the Town Planner and Town Engineer and recommend to the Town Board and JPC of the same. Seconded by Commissioner Samanske. Motion carried, 5-0. Commissioner Stadler abstained.*

#### **Conceptual**

#### **Discussion on a preliminary site plan for the property owned by Amin Hamdan and located at the corner of C.T.H. F and C.T.H. K, LSBT 0284.994.001 for a proposed truck washing station.**

Planner Lindstrom explained this was a conceptual site plan/plan of operation for a two bay truck washing facility. The applicant explained that businesses in the area are looking for ways to keep the roads clean with all of the trucks that come through this area. They were looking at the constructability and the feasibility at this location. The applicant explained this would be a full hand wash station and not an automated system. The applicant also explained they are looking into a fully reusable water system with a well. They would prefer to catch the water, clean and filter it and pump less water out of the ground. They explained the filtering system will be different when different cleaning agents are used. They also explained that any solid waste will be discharged at the dump site. Commissioner Samanske explained that these types of sites are regulated by the DNR.

Planner Lindstrom explained there are no defined truck washing stations in our code and this would require an unspecified Conditional Use Permit. Mr. Lindstrom also explained that this would be an overlapping jurisdiction with the Village of Sussex and recommended that the applicant speak with the Village to see if this would be something they would consider approving given the design standards of this area.

**Discussion and necessary action on the requests from Donnette Mayrack and Sara Christon, N75W27099 Oakwood Road, LSBT0216.996.002 and N75W27092 Oakwood Road, LSBT0216.996.003, for a conceptual review to remove a park path reservation.**

Ms. Christon explained this is a reservation that was added after the land was divided and was supposed to connect the park with Thousand Oaks subdivision. The Reservation ends prior to Oakwood Road. There is now a walking path on Lake Five Road that connects these areas. Commissioner Nelson explained that at the time the Town was trying to open up the Community Park and gain access to the neighboring subdivisions. Attorney Gutenkunst explained that the process for removing the reservation would be to have a surveyor draft a release document which could be approved via a Resolution.

*Motion by Chairman Osterman to direct staff to draft the necessary documents to remove the reservation. Seconded by Commissioner Meyer. Motion carried, 6-0.*

**Town and Planner Report**

**October & November Planner Appointments**

Planner Lindstrom reviewed the planner appointments from October and November. The appointments included a CSM for H&H Auto, an inquiry on expanding a multi-housing area on Town Line Road, a CSM for Mr. Gross which was acted upon, a potential CSM for a property on Walnut Road and a site plan/plan of operation for an addition to a Halquist building.

**Requests from members to put future items on the agenda.**

**Adjournment.**

*Motion by Commissioner Nelson to adjourn the Thursday, November 14, 2019 Plan Commission Meeting at 9:43 P.M. Seconded by Commissioner Samanske. Motion carried, 6-0.*

Respectfully submitted,

Dan Green, WCMC  
Town of Lisbon Clerk



W234N8676 WOODSIDE RD. • LISBON, WI 53089-1545 • TEL: (262) 246-6100 • FAX: (262) 820-2023  
 E-mail: [townhall@townoflisbonwi.com](mailto:townhall@townoflisbonwi.com) • Website: [www.townoflisbonwi.com](http://www.townoflisbonwi.com)

## SITE PLAN AND PLAN OF OPERATION

Please fill out the entire application all questions need a response. If something does not apply please put N/A. Incomplete applications will not be processed or put on the agenda. The completion of this application form must be accompanied by one copy of an up to date and detailed Site Plan drawn to scale and including, but shall not be limited to, all existing buildings, signage, lighting, landscaping, parking, loading, storage, dumpsters, septic and well, etc; an interior layout (plans) of all buildings and the existing and proposed uses of the interior spaces (i.e., office, retail, restaurant, etc); and any other supporting materials. The above shall be submitted to the Town Hall, and upon review of the information, additional items may be required. The plans shall be drawn to scale and shall be no larger than 11" x 17", and shall also be emailed as a PDF. Future revisions to the approved Site Plan/Plan of Operation will require new approvals.

- New business in existing building or on existing site       New Owner       Temporary Use  
 Change in Operations (summarize below what is changing; days/hours, etc)

- Change in Use (summarize below prior and new use below)

### BUSINESS / PROPERTY OWNER & PROPERTY INFORMATION

Tax Key Number \_\_\_\_\_ Acres 6.68 Zoning M1

Business Name & Contact Person: WIKOFF COLOR CORPORATION - VERN FULLER

Full Address (include City & Zip): 1886 MERRITT ROAD FORT MILL, SOUTH CAROLINA 29715

Phone Number & Email: 803 835 8324 vern.fuller@wikoff.com

Signature & Date: \_\_\_\_\_

\*\*\*\*\*

Property Owner Name: WIKOFF COLOR CORPORATION

Full Address (include City & Zip): 1886 MERRITT ROAD FORT MILL, SOUTH CAROLINA 29715

Phone Number & Email: 803 835 8324

Signature & Date: \_\_\_\_\_

1. Is this business replacing another business?  Yes  No

a. If yes, what is the prior business' name: \_\_\_\_\_

2. Is this an expansion of an existing Town approved/based operation?  Yes  No

a. If yes, please explain: \_\_\_\_\_

**HOURS OF OPERATION & OPERATING SPECIFICS**

3. Describe in detail below the specific type of business operation (Retail, Restaurant, Manufacturing, Office, etc.), including temporary, accessory, and outdoor uses (storage, etc). Provide a separate list of all items sold or produced on the property. If items are produced, please provide a separate explanation of the production process.

THE FACILITY WILL PRODUCE PRINTING INKS AND PRINTING PLATES. THERE ARE OVER 10,000 SKU'S OF PRODUCTS THAT CAN BE PRODUCED ON THE SITE. THE INKS ARE PRODUCED IN A BATCH PROCESS, STARTING WITH RECEIPT OF RAW MATERIALS IN BOTH SOLID AND FLUID FORMATS. THE PRINTING PLATES ARE PRODUCED FROM A STATE OF THE ART PROPRIETARY PROCESS THAT SAFELY ETCHES A PUNCTURED SUBSTRATE.

4. Days & Times of Operation:

a. Days & Times: M-F 6AM-6PM

5. Employees (if self-employed please count yourself)

a. Full-Time 34

b. Part-Time 0

**FOOD / BEVERAGE / LIQUOR**

6. Is there any food & beverage / liquor service?  Yes  No

a. If yes, please explain: \_\_\_\_\_

7. Table Seating Capacity

- a. Outside: \_\_\_\_\_
- b. Inside: \_\_\_\_\_
- c. Bar: \_\_\_\_\_

8. Food / Soda Vending Machines  Yes  No

- a. If yes, quantity of each: \_\_\_\_\_

**OUTDOOR USES**

9. Is there any outdoor storage?  Yes  No

- a. If yes, please explain: (5) 13,000 GALLON TANKS AND A POSSIBLE SEPARATE STORAGE SHED

10. Will there be any outdoor events?  Yes  No

- a. If yes, please describe the types of events, parking accommodations, sanitary facilities and delineate the locations of the events on the Site Plan submitted. Attach a separate sheet if necessary.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

11. Will there be any customer dockage?  Yes  No

- a. If yes, please indicate on the Site Plan length and number of piers.

12. Parking Lot

- a. Dimensions 126'x46' & 415'x66'
- b. Total number of spaces 94 SPACES
- c. Number of spaces allotted for employees \_\_\_\_\_

**MUSIC / ENTERTAINMENT**

13. Are any problems such as odor, smoke or noise resulting from this operation?  Yes  No

a. If yes, describe what types (live, amplified, recorded, jukebox, etc), indoors and/or outdoors, and the days and hours music will be provided? Attach a separate sheet if necessary.

THE PROCESS USES A NUMBER OF "MILLS" THAT CONDITION  
RAW MATERIALS. THESE MILLS DO GENERATE NOISE THAT  
ON OCCASION CAN BE HEARD OUTSIDE (A FEW YARDS OUTSIDE THE WALLS).  
SOLVENTS ARE ALSO USED WHICH ON OCCASION CAN BE SMELLED  
OUTSIDE THE BUILDING

14. Game Machines  Yes  No

a. Quantity: \_\_\_\_\_

b. Location: \_\_\_\_\_

**BUILDINGS**

15. Building A

a. Dimensions & Levels: 200' x 200' - ONE LEVEL

b. Use: MANUFACTURING

16. Building B

a. Dimensions & Levels: \_\_\_\_\_

b. Use: \_\_\_\_\_

17. Building C

a. Dimensions & Levels: \_\_\_\_\_

b. Use: \_\_\_\_\_

**LIGHTING (Submit Cut-Sheets)**

18. Outdoor Lighting

a. Type(s): LED

b. Locations(s): PARKING LOT AND PERIMETER WALLS OF BUILDING AND LOADING AREA

**SIGNAGE (Also submit the Town's Signage Application & appropriate fees)**

19. Describe below the type of signage that exists and what signage is proposed on the site (attached, free standing, ground, mobile, projecting, window, electronic message, banners, flags, sandwich boards, etc.) and if the signs are illuminated, single/double faced, along with the number, size, and height of all signs.

WE ARE ASKING FOR APPROVAL OF MONUMENT LOCATION, PLANTINGS ASSOCIATED WITH  
MONUMENT SIGN, AND BASIC DESIGN CONCEPT. WHEN SIGN CONTRACTOR IS ASSIGNED / HIRING,  
THEY WILL REQUEST FOR FORMAL APPROVAL. NOTE SIGN SIZE ABOVE BASE / PEDESTAL WILL BE  
10 FEET WIDE X 5 FEET TALL, THE APPROXIMATE WIDTH IS 12 INCHES.

**CHEMICALS/HAZARDOUS MATERIALS**

20. Are there any Chemicals, Hazardous Waste of Solvents stored on the site?  Yes  No

- a. If yes, please list those items and how they are disposed of or attach a separate sheet if necessary.

PLEASE SEE ATTACHMENT

21. Does this Operation involve the Storage/Sale of gasoline or any other Petroleum Products?  Yes  No

- a. If yes, please list those items and how they are disposed of or attach a separate sheet if necessary.

**STORM WATER RETENTION, FLOW OF SURFACE WATER, AND AMOUNT OF IMPERVIOUS SURFACES**

22. Are there surface water drainage facilities?  Yes  No

- a. If yes, please explain: THE SITE WILL BE DRAINED BY OVERLAND AND UNDERGROUND PIPE  
STRUCTURES WHICH WILL DELIVER STORM WATER FROM THE BUILDING AND SITE TO OUTLET/INLET  
STRUCTURAL LOCATED IN THE NEW STREET IMMEDIATELY EAST OF NEW BUILDING. THE STREET  
STORM TO TAKE STORM WATER TO REGIONAL POND TO BE PROVIDED BY TOWN OF LISBON.

**REFUSE DISPOSAL**

23. Are there dumpsters/waste containers on the site?  Yes  No

a. If yes, show on the Site Plan submitted the location of dumpsters and any screening.

**PERMIT APPROVAL / ISSUANCE DATES**

24. Is Highway Access Permit Needed?  Yes  No

a. Date Issued: \_\_\_\_\_

25. DNR Well Approval (For New Constructions Only)

a. Date Approved: BY TOWN OF LISBON

26. Septic System Approval (For New Constructions Only)

a. Date Approved: SANITARY CONNECTION BY TOWN OF LISBON

27. Fire Department Inspection  Yes  No

a. Date Inspected: TO BE CONDUCTED

28. Did the Wisconsin Department of Safety & Professional Services approve building plans?  Yes  No

a. Date Approved: TO BE REVIEWED IN 2020

29. Is security fencing necessary?  Yes  No

**HORSE BOARDING**

30. Does this Operation involve the Boarding of Horses?  Yes  No

a. Maximum number of horses boarded: \_\_\_\_\_

b. Maximum number of horses owned: \_\_\_\_\_

31. Has a Conservation Plan been prepared by the Land Conservation Committee?  Yes  No

a. Date Prepared: \_\_\_\_\_

Town Approval Date(s): \_\_\_\_\_

County Approval Date(s): \_\_\_\_\_

PNUM	PNAME	Chemical Name	CASH	NFPA Class	Average gallons used per year
1.06001390	SDAG 13	Ethyl alcohol	64-17-5	Class IB	20290
1.06700240	N. PROPYL ALCOHOL (01-004)	n-Propanol	71-23-8	Class IB	16914
1.06701150	ETHYL ACETATE	Ethyl acetate	141-78-6	Class IB	15359
1.06700230	N. PROPYL ACETATE (01-012)	Propyl acetate	109-60-4	Class IB	15165
1.60002650	Amsol W	Reclaim/other solvent		Class IB	10555
1.06701180	GLYCOL ETHER PNP	2-Propanol, 1-propoxy	1569-01-3	Class II	6303
1.60004737	Amsol PPA	Reclaim/other solvent		Class IB	3822
1.06700410	MEK	MEK	78-93-3	Class IB	2978
1.06700300	Heptane	Heptanes	142-82-5	Class IB	2144
1.06001330	ISOBUTYL ACETATE	Isobutyl acetate	110-19-0	Class IB	1923
1.06001310	ISOBUTANOL	isobutanol	78-83-1	Class IB	1856
1.06700700	GLYCOL ETHER PM (01-050)	Propylene glycol methyl ether	107-98-2	Class IIIB (Combustible)	1595
1.06700170	GLYCOL ETHER DPM	Dipropylene glycol methyl ether	34590-94-8	Class IIIA	1435
1.06001140	ACETONE	Acetone	67-64-1	Class IB	1338
1.06001480	2A Alcohol	Methanol	67-56-1	Class IB	1185
1.06700850	ISOPROPYL ACETATE	Isopropyl acetate	108-21-4	Class IB	1151
1.06700190	ISOPROPYL ALCOHOL (01-003)	Isopropanol	67-63-0	Class IB	985
1.05705070	ETHYL LACTATE	Ethyl lactate	97-64-3	Class II	731
1.06001280	N-BUTYL ALCOHOL (01-006)	Butanol	71-36-3	Class IB	635
1.06001460	MIBK	MIBK	108-10-1	Class IB	251
1.60001590	Methyl n-Propyl ketone	Methyl Propyl ketone	107-87-9	Class IB	142
1.06001470	SHELLSOL WHT	Naphtha	64742-89-8	Class IB	51
1.05705190	TOLUENE	Toluene	108-88-3	Class IB	27
1.06700150	GLYCOL ETHER EB - BUTYL CELLOSOLVE (042-011)	Ethylene glycol butyl ether	111-76-2	Class IIIA	23
1.05705170	Diacetone Alcohol	Diacetone alcohol	123-42-2	Class II	6
1.06700020	DIETHYLENE GLYCOL	Diethylene glycol	111-46-6	Class IIIB (Combustible)	3
1.05000560	DMEA (DIMETHYLETHANOLAMINE) 01-104	Dimethylamino alcohol	108-01-0	Class II	3

# PROPOSED NEW INDUSTRIAL BUILDING DEVELOPMENT FOR: WIKOFF COLOR CORPORATION

N63 W22039 (MAIN STREET) C.T.H. "F"  
TOWN OF LISBON, WISCONSIN 53089



2 PERSPECTIVE RENDERING OF WIKOFF BUILDING  
AERIAL VIEW OF NEW BUILDING LOOKING SOUTH



1 PERSPECTIVE RENDERING OF WIKOFF BUILDING  
VIEW LOOKING SOUTHWEST AT NORTHEAST CORNER OF BUILDING

**CODE CALCULATIONS AND ANALYSIS (2015 - IBC):**

**PROPOSED PROJECT:**  
NEW BUILDING INDUSTRIAL; PRIMARY OCCUPANCY IS: CHEMICAL MANUFACTURING AND DISTRIBUTION FACILITY

**OCCUPANCY CALCULATION:**

OCCUPANCY H-2 (PRIMARY) HAZARDOUS OCCUPANCY GROUP  
100 SQUARE FEET IS MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT  
10,038 SQUARE FEET GROSS / 100 SQUARE FEET PER PERSON = 100.3/101 PEOPLE MAXIMUM

OCCUPANCY H-3 (SECONDARY) HAZARDOUS OCCUPANCY STORAGE GROUP  
300 SQUARE FEET IS MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT  
3,240 SQUARE FEET GROSS / 500 SQUARE FEET PER PERSON = 6.5/7 PEOPLE MAXIMUM

OCCUPANCY F-1 (PRIMARY) MODERATE HAZARD FACTORY GROUP  
100 SQUARE FEET IS MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT  
22,542 SQUARE FEET GROSS / 100 SQUARE FEET PER PERSON = 225.4/226 PEOPLE MAXIMUM

OCCUPANCY B (ACCESSORY) BUSINESS OFFICE  
100 SQUARE FEET IS MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT  
4,180 SQUARE FEET GROSS / 100 SQUARE FEET PER PERSON = 41.8/42 PEOPLE MAXIMUM

TOTAL OCCUPANCY = 376 PEOPLE MAXIMUM  
(ACTUAL EMPLOYEE COUNT = 35-40 PEOPLE)

**PLUMBING FIXTURE CALCULATION:**

BASED ON F-1, H-2 OR H-3 HAZARDOUS OCCUPANCY = 376 PEOPLE

TOILET FIXTURES (WC) REQUIRED AND PROVIDED ARE AS FOLLOWS:  
F-1 188 MEN = 2 FIXTURES (WC) REQUIRED  
F-1 188 WOMEN = 2 FIXTURES (WC) REQUIRED

MEN FIXTURES (WC) REQUIRED 2 TOTAL AND PROVIDED 2 TOTAL OK  
WOMEN FIXTURES (WC) REQUIRED 2 TOTAL AND PROVIDED 2 TOTAL

LAVATORY FIXTURES REQUIRED AND PROVIDED ARE AS FOLLOWS:  
F-1 MEN AND WOMEN 376 = 4 LAVATORY FIXTURES REQUIRED  
F-1 MEN AND WOMEN FIXTURES REQUIRED 4 TOTAL AND PROVIDED 8 TOTAL

PLUMBING FIXTURE CALCULATIONS ARE BASED ON IBC TABLE 2902.1  
ACTUAL OCCUPANCY FOR THE BUILDING WILL BE 35 EMPLOYEES AND POSSIBLE 5 GUESTS  
SEE ATTACHED LETTER FROM OWNER, PLUMBING FIXTURES PROVIDED WILL ACCOMMODATE ACTUAL NUMBER OF EMPLOYEES AND GUESTS.

**EXIT WIDTH REQUIRED AND EXIT ACCESS TRAVEL DISTANCE:**

EXIT WIDTH REQUIRED 376 x 20 = 76 INCHES OR 32 INCHES EACH MINIMUM CLEAR X 9' EXITS  
EXIT WIDTH PROVIDED (9' 36" WIDE DOORS x 34" = 306" WIDTH  
TOTAL EXIT WIDTH PROVIDED OF 306" EXCEEDS REQUIRED EXIT WIDTH CALCULATED (76")  
TOTAL NUMBER OF EXISTING EXITS PROVIDED (9) MEETS THE NUMBER OF EXITS REQUIRED (3)  
REFER TO SHEET A1.0 FOR ADDITIONAL INFORMATION.

EXIT TRAVEL DISTANCE = LESS THAN 100' FOR BOTH H-2 AND H-3 OCCUPANCY GROUPS  
LESS THAN 250' FOR BOTH B AND F-1 OCCUPANCY GROUPS

**AREA, NUMBER OF STORIES ALLOWED AND HEIGHT LIMITATION CALCULATIONS:**

DESIGN BASED ON TWO SEPARATE BUILDINGS:

BUILDING A CONSISTS OF H-2 10,038 SF AND H-3 3,240 SF AND COMBINED TOTAL AREA 13,278 SF  
PER IBC 2015 TABLE 506.2 ALLOWABLE AREA USING WORST CASE OCCUPANCY GROUP:  
FOR OCCUPANCY GROUP H-2 (TYPE 1A CONSTRUCTION - AUTOMATIC SPRINKLER INCREASE FACTORED IN AND FRONTAGE INCREASE CALCULATED)  
1 STORY AND 21,000 S.F. ALLOWED FROM TABLE 506.2 WITH FRONTAGE INCREASE 36,750 S.F.  
THE ACTUAL SIZE IS 13,278 S.F. WHICH COMPLIES BY STAYING BELOW THE UPPER LIMIT ALLOWED.  
PER IBC 2015 TABLE 504.4 ALLOWABLE STORIES USING WORST CASE OCCUPANCY GROUP:  
UP TO 3 STORIES ARE ALLOWED AND 1 STORY IS ACTUAL, WHICH COMPLIES WITH CODE LIMIT.  
PER IBC 504.3 ALLOWABLE HEIGHT LIMITATION USING WORST CASE OCCUPANCY GROUP:  
160 FEET MAXIMUM ALLOWED AND WE PROPOSE TO CONSTRUCT A BUILDING NOT TO EXCEED 37 FEET TOP OF ROOF, WHICH COMPLIES WITH CODE LIMIT.

BUILDING B CONSISTS OF B 4,180 SF AND F-1 22,542 SF AND COMBINED TOTAL AREA 26,722 SF  
PER IBC 2015 TABLE 506.2 ALLOWABLE AREA USING WORST CASE OCCUPANCY GROUP:  
FOR OCCUPANCY GROUP F-1 (TYPE 2B CONSTRUCTION - AUTOMATIC SPRINKLER INCREASE FACTORED IN AND FRONTAGE INCREASE CALCULATED)  
1 STORY AND 62,000 S.F. ALLOWED FROM TABLE 506.2 WITH FRONTAGE INCREASE 108,500 S.F.  
THE ACTUAL SIZE IS 26,722 S.F. WHICH COMPLIES BY STAYING BELOW THE UPPER LIMIT ALLOWED.  
PER IBC 2015 TABLE 504.4 ALLOWABLE STORIES USING WORST CASE OCCUPANCY GROUP:  
UP TO 3 STORIES ARE ALLOWED AND 1 STORY IS ACTUAL, WHICH COMPLIES WITH CODE LIMIT.  
PER IBC 504.3 ALLOWABLE HEIGHT LIMITATION USING WORST CASE OCCUPANCY GROUP:  
75 FEET MAXIMUM ALLOWED AND WE PROPOSE TO CONSTRUCT A BUILDING NOT TO EXCEED 37 FEET TOP OF ROOF, WHICH COMPLIES WITH CODE LIMIT.

**CONSTRUCTION CLASSIFICATION REQUIREMENTS:**

PER IBC TABLE 601 AND TABLE 602:

TYPE IA CONSTRUCTION:  
PRIMARY STRUCTURAL FRAME "3" RATING REQUIRED REDUCED BY 1 HOUR WHERE SUPPORTING ROOF ONLY  
INTERIOR BEARING WALLS "3" RATING REQUIRED  
EXTERIOR BEARING WALLS "3" RATING REQUIRED REDUCED BY 1 HOUR WHERE SUPPORTING ROOF ONLY  
(PER TABLE 602 > 30 FEET)  
NONBEARING WALLS AND PARTITIONS "0" RATING REQUIRED  
FLOOR CONSTRUCTION AND SECONDARY MEMBERS "2" RATING REQUIRED  
ROOF CONSTRUCTION AND SECONDARY MEMBERS "1.5" RATING REQUIRED SECONDARY MEMBERS ARE NOT REQUIRED TO BE RATED IF EVERY PART OF ROOF CONSTRUCTION IS 20 FEET OR GREATER ABOVE THE FLOOR CLEAR

TYPE IB CONSTRUCTION:  
PRIMARY STRUCTURAL FRAME "0" RATING REQUIRED  
INTERIOR BEARING WALLS "0" RATING REQUIRED  
EXTERIOR BEARING WALLS "0" RATING REQUIRED  
(PER TABLE 602 > 30 FEET)  
NONBEARING WALLS AND PARTITIONS "0" RATING REQUIRED  
FLOOR CONSTRUCTION AND SECONDARY MEMBERS "0" RATING REQUIRED  
ROOF CONSTRUCTION AND SECONDARY MEMBERS "0" RATING REQUIRED

## PLAN COMMISSION SUBMITTAL - NOVEMBER 25, 2019 FOR DECEMBER 12, 2019 MEETING

<b>OWNER :</b> WIKOFF COLOR CORP VERN FULLER OWNER REP	<b>GENERAL CONTRACTOR :</b> BRIOHN BUILDING CORPORATION MIKE MIKSICH SENIOR PM	<b>ARCHITECT :</b> BRIOHN DESIGN GROUP LLC DOMENICO FERRANTE AIA	<b>STRUCTURAL ENGINEER:</b> BRIOHN DESIGN GROUP LLC KEVIN JANKOWSKI PE	<b>LIFE SAFETY CODE CONSULTANT:</b> JENSEN HUGHES RICK GLENN	<b>PROJECT LOCATION:</b> 475 BOND STREET, SUITE 120 LINCOLNSHIRE, IL 60089 (847) 268-2420 PHONE
<b>CIVIL ENGINEER:</b> CJ ENGINEERING CHRISTOPHER A. JACKSON, PE	<b>LANDSCAPE ARCHITECT:</b> HELLER & ASSOCIATES DAVID HELLER, ASLA	<b>EXPLOSION RELIEF VENTING CONSULTANT:</b> JENSEN HUGHES ANDREW WESTRUM			
9205 WEST CENTER STREET, SUITE 214 MILWAUKEE, WISCONSIN 53222 (414) 443-1312 PHONE (414) 443-1317 FAX	P.O. BOX 1359 LAKE GENEVA, WISCONSIN 53147 (262) 639-9733 PHONE	3224 RICE STREET, SUITE 101 LITTLE CANADA, MN 55102 (952) 777-4284 PHONE			



SITE LOCATION MAP  
SCALE: N.T.S.  
NORTH

**SHEET INDEX :**

- T1.1 TITLE SHEET
- T1.2 ARCHITECTURAL RENDERINGS
- G50.1 GENERAL REQUIREMENTS & SPECIFICATIONS
- ECS EXISTING CONDITIONS PLAT OF SURVEY BY TOWN
- C1.0 SITE PLAN
- C2.0 SITE GRADING PLAN
- C3.0 SITE UTILITY PLAN
- C4.0 EROSION CONTROL PLAN
- A0.1 COLORED ARCHITECTURAL SITE PLAN
- L1.0 OVERALL LANDSCAPE PLAN
- L1.1 ENLARGED LANDSCAPE PLAN
- L1.2 ENLARGED LANDSCAPE PLAN
- L1.3 LANDSCAPE DETAILS, NOTES & SCHEDULES
- A1.1 FLOOR PLAN
- A4.0 SCHEMATIC ROOF PLAN
- A5.0 ARCH 3D VIEWS OF ARCH ELEVATIONS
- A5.1 COLORED EXTERIOR ARCH ELEVATIONS & NOTES
- E1.0 PHOTOMETRIC SITE PLAN
- E2.0 EXTERIOR LIGHTING CUT SHEETS
- E2.1 EXTERIOR LIGHTING CUT SHEETS

**PROJECT INFORMATION:**

<b>CODE:</b>	SPS 360-366 WISCONSIN COMMERCIAL BUILDING CODE WITH AMENDMENTS (IBC 2015, IECC 2015, IBC 2015, IMC 2015 AND IFGC 2015) SPS 314 FIRE PREVENTION AND NFPA 1, FIRE CODE 2012, NFPA 68 AND 69 NFPA 30, FLAMMABLE AND COMBUSTIBLE LIQUIDS CODE, 2012 SPS 316 ELECTRICAL SPS 381-387 PLUMBING
<b>OCCUPANCY:</b>	PRIMARY F-1 (MANUFACTURING) AND H-2 (HAZARDOUS) SECONDARY H-3 (HAZARDOUS) AND B (BUSINESS) AND S-1 (MODERATE HAZARD STORAGE)
<b>CLASS OF CONSTRUCTION:</b>	TYPE 1A FOR H2 AND H3 OCCUPANCY AREAS AND TYPE 2B FOR B AND F-1 AREAS
<b>SPRINKLER SYSTEM:</b>	NFPA 13
<b>FLOOR LEVELS:</b>	1
<b>NUMBER OF STORIES</b>	1
<b>TOTAL PROPOSED BUILDING AREA:</b>	40,000 SF

**MULTIPLE OCCUPANCIES:**  
BUILDING DESIGN IS BASED ON SEPARATED AND NON-SEPARATED OCCUPANCIES PER 2015 IBC 508. THE ALLOWABLE AREA, STORIES AND HEIGHT ARE BELOW THE MORE RESTRICTIVE OCCUPANCY GROUP, WHICH IS H-2 FOR BUILDING A AND F-1 FOR BUILDING B. REFER TO SECTION ABOVE.



TITLE SHEET

PROPOSED NEW MANUFACTURING FACILITY - BUILDING FOR:  
WIKOFF COLORS  
MAIN STREET C.T.H. "F"  
TOWN OF LISBON, WISCONSIN 53089

JOB:	3142
DRAWN:	DF
CHECKED:	DF
DATE:	NOVEMBER 25, 2019
SHEET:	

# T1.1



ARCHITECTURAL RENDERINGS

SHEET TITLE

PROPOSED NEW MANUFACTURING FACILITY - BUILDING FOR:  
**WIKOFF COLORS**  
MAIN STREET C.T.H."F"  
TOWN OF LISBON, WISCONSIN 53089

JOB: 3142  
DRAWN: DF  
CHECKED: DF  
DATE: NOVEMBER 25, 2019  
SHEET:

T1.2



4 PERSPECTIVE RENDERING OF WIKOFF BUILDING  
VIEW LOOKING SOUTHWEST AT NORTHEAST CORNER OF BUILDING WITH TREES SHOWN



3 PERSPECTIVE RENDERING OF WIKOFF BUILDING  
VIEW LOOKING SOUTHWEST AT NORTHEAST CORNER OF BUILDING WITH TREES FADED FOR BUILDING VISIBILITY



2 PERSPECTIVE RENDERING OF WIKOFF BUILDING  
VIEW LOOKING SOUTHEAST AT NORTHWEST CORNER OF BUILDING AND DOCKS WITH TREES SHOWN IN FULL



1 PERSPECTIVE RENDERING OF WIKOFF BUILDING  
VIEW LOOKING SOUTHEAST AT NORTHWEST CORNER OF BUILDING AND DOCKS WITH TREES FADED AWAY FOR BUILDING VISIBILITY



COLORED ARCHITECTURAL SITE PLAN

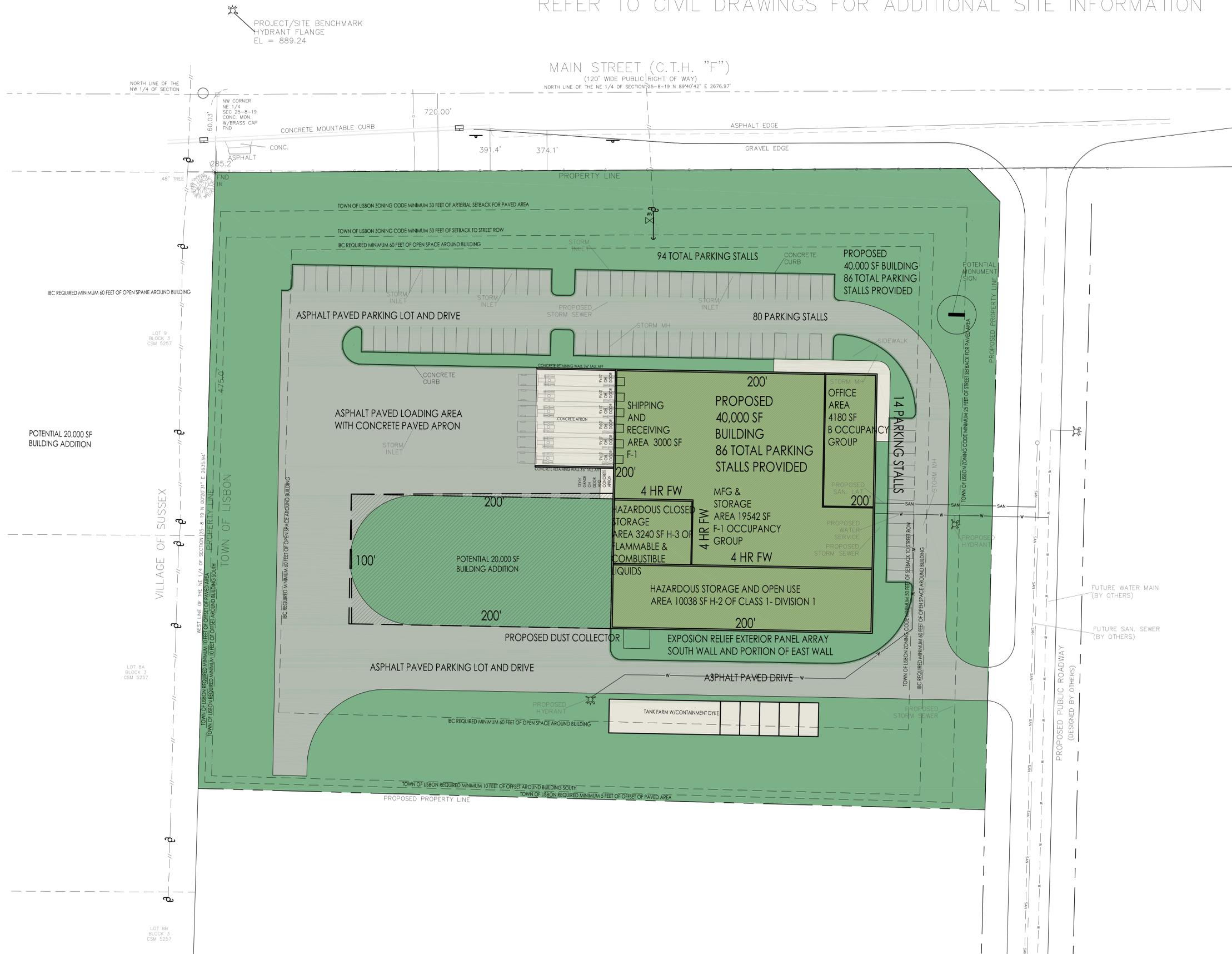
SHEET TITLE

PROPOSED NEW MANUFACTURING FACILITY - BUILDING FOR:

WIKOFF COLORS  
MAIN STREET C.T.H."F"

TOWN OF LISBON, WISCONSIN 53089

REFER TO CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION



1 SITE PLAN  
Scale: 1" = 30'-0"

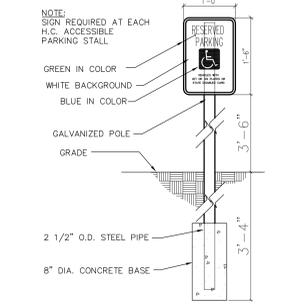
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DRAWN:	DF
CHECKED:	DF
DATE:	NOVEMBER 25, 2019
SHEET:	

A0.1

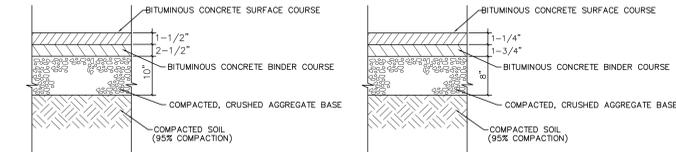


**MAIN STREET (C.T.H. "F")**  
 (120' WIDE PUBLIC RIGHT OF WAY)

NORTH LINE OF THE NE 1/4 OF SECTION 25-8-19 N 89°40'42" E 2676.97'

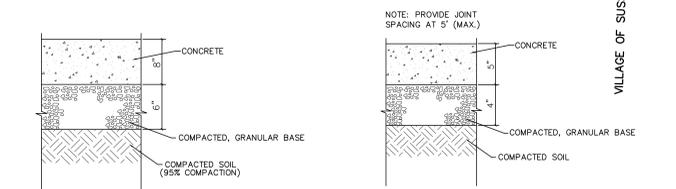


**HANDICAPPED PARKING SIGN DETAIL**  
 NOT TO SCALE



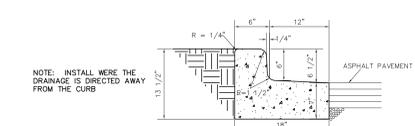
**HEAVY DUTY ASPHALT PAVEMENT**  
 (TRUCK TRAFFIC AREA)  
 NOT TO SCALE

**STANDARD DUTY ASPHALT PAVEMENT**  
 NOT TO SCALE

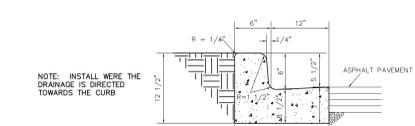


**CONCRETE PAVEMENT**  
 (LOADING DOCKS)  
 NOT TO SCALE

**CONCRETE SIDEWALK**  
 NOT TO SCALE

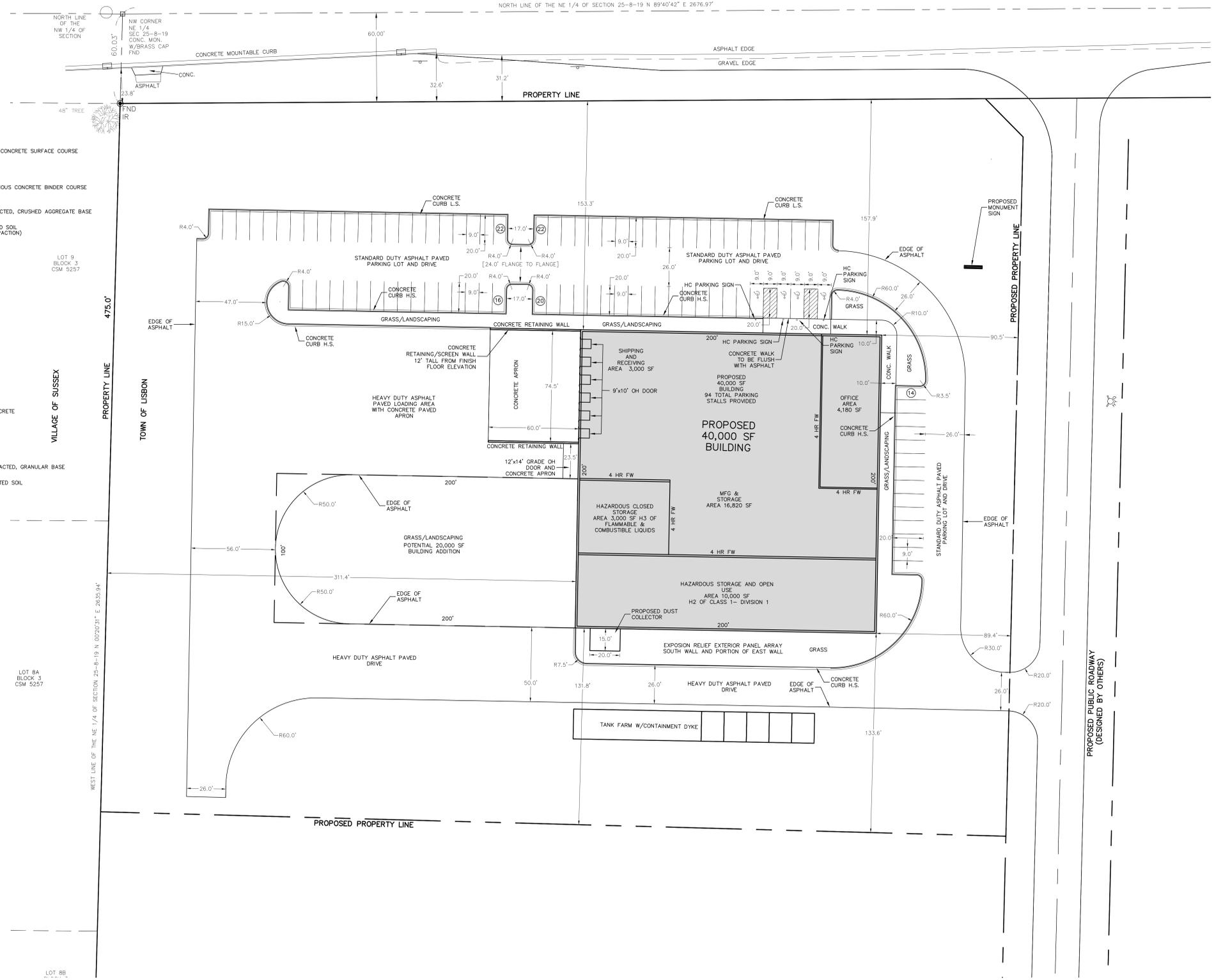


**HIGH SIDE CONCRETE CURB (H.S. C&G) DETAIL**  
 NOT TO SCALE



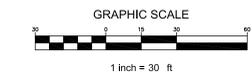
**LOW SIDE CONCRETE CURB (L.S. C&G) DETAIL**  
 NOT TO SCALE

- NOTES:**
1. ASPHALT: 90,033 S.F. (2.07 ACRES)  
 ULTIMATE ASPHALT: 88,960 (2.04 ACRES)  
 CONCRETE: 6,236 S.F. (0.14 ACRES)  
 BUILDING: 40,000 S.F. (0.92 ACRES)  
 FUTURE BUILDING: 20,000 S.F. (0.46 ACRES)  
 ULTIMATE BUILDING 60,000 S.F. (1.38 ACRES)
  2. ULTIMATE IMPERVIOUS: 155,166 S.F. (3.56 ACRES) 53%  
 ULTIMATE OPEN: 135,739 S.F. (3.12 ACRES) 47%  
 PROPOSED TOTAL SITE AREA 290,905 S.F. (6.68 ACRES)
  3. DISTURBED AREA: 290,905 S.F. (6.68 ACRES) ENTIRE SITE
  4. ALL DIMENSIONS SHOWN TO FRONT OF CURB UNLESS OTHERWISE NOTED



LOT 9A  
 BLOCK 3  
 CSM 5257

LOT 8B



**WIKOFF - LIEDS DEVELOPMENT**  
 TOWN OF LISBON, WISCONSIN

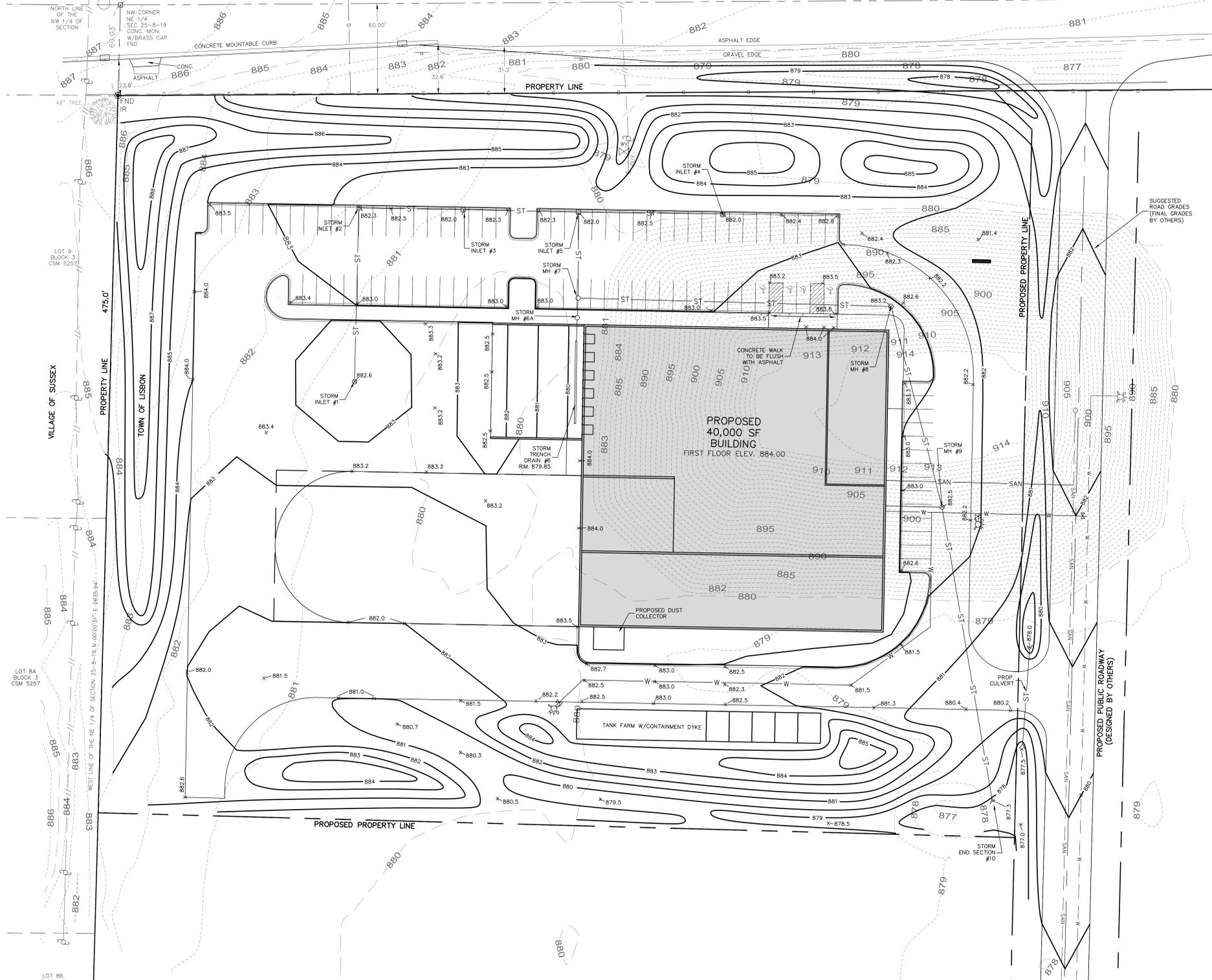
CJE NO.: CJEI940R2  
 NOVEMBER 25, 2019

**SITE PLAN C1.0**



**MAIN STREET (C.T.H. "F")**  
 (120' WIDE PUBLIC RIGHT OF WAY)

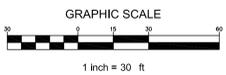
NORTH LINE OF THE NE 1/4 OF SECTION 25-8-19 N 89°40'42" E 2676.97'



- NOTES:
1. ALL PROPOSED SPOT GRADES SHOWN ARE AT BOTTOM OF CURB.
  2. DISTURBED AREA = 290,905 S.F. (6.68 ACRES) ENTIRE SITE

LEGEND	
--- 896	EXISTING CONTOUR
--- 905	PROPOSED CONTOUR
x 906.5	PROPOSED ELEVATION
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING WATER MAIN
---	PROPOSED WATER MAIN
---	BURIED GAS MAIN
---	OVER HEAD WIRE
---	BURIED ELECTRIC

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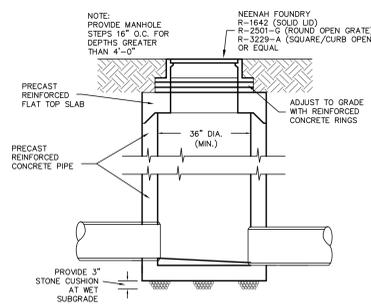
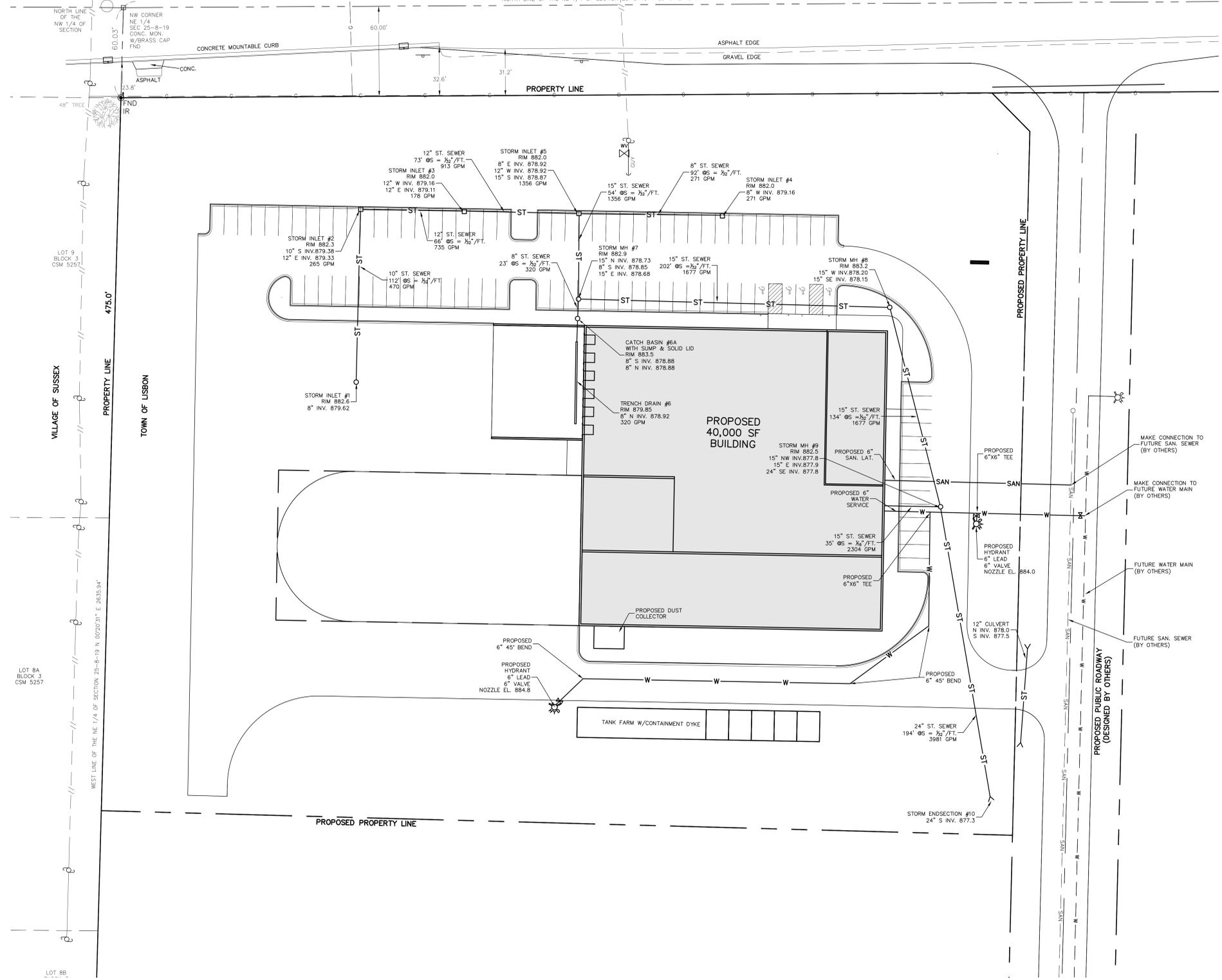


**WIKOFF - LIEDS DEVELOPMENT**  
 TOWN OF LISBON, WISCONSIN

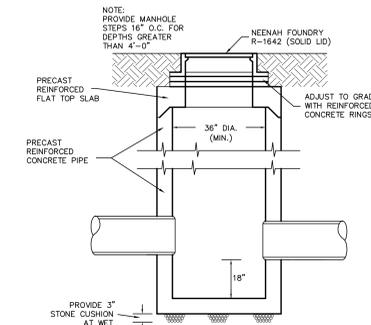
CJEI NO.: CJEI940R2  
 NOVEMBER 25, 2019



**MAIN STREET (C.T.H. "F")**  
 (120' WIDE PUBLIC RIGHT OF WAY)  
 NORTH LINE OF THE NE 1/4 OF SECTION 25-8-19 N 89°40'42" E 2676.97'



**PRECAST STORM MH/INLET**  
 NOT TO SCALE

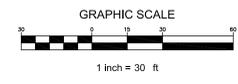


**PRECAST STORM CATCH BASIN**  
 NOT TO SCALE

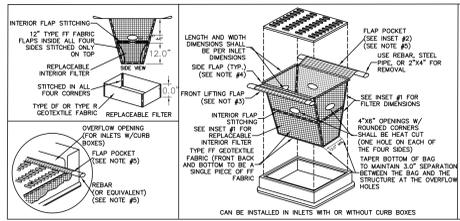
- NOTES:**
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE TOWN OF LISBON REQUIREMENTS.
  2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
  3. EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDING BY PLUMBING CONSULTANT/CONTRACTOR.
  4. PROPOSED WATER SERVICE SHALL HAVE A MINIMUM 6 FEET OF COVER.
  5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

LEGEND	
---	EXISTING STORM SEWER
ST	PROPOSED STORM SEWER
---	EXISTING SANITARY SEWER
SAN	PROPOSED SANITARY SEWER
---	EXISTING WATER MAIN
W	PROPOSED WATER MAIN
---	BURIED GAS MAIN
---	OVER HEAD WIRE
E	BURIED ELECTRIC

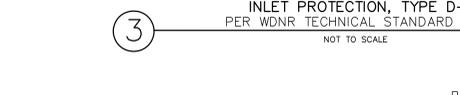
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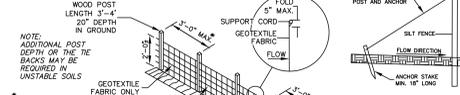
**WIKOFF - LIEDS DEVELOPMENT**  
 TOWN OF LISBON, WISCONSIN



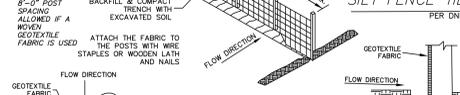
**NOTES:**  
 1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO GHT STRUCTURE WALL.  
 2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG, FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.  
 3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.  
 4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.  
 5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.  
 MAINTENANCE NOTES:  
 1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



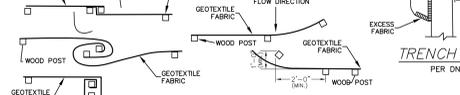
**NOTE:**  
 INSTALL IN ALL STORM INLETS AND CATCH BASINS LOCATED WITHIN AND ADJACENT TO THE CONSTRUCTION AREA



**SILT FENCE CONSTRUCTION SPECIFICATIONS**  
 PER DNR CPS (1056)  
 1. CONSTRUCTION SILT FENCE AROUND THE DISTURBED AREAS AS SHOWN ON EROSION CONTROL PLAN TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM  
 2. LOCATE POSTS PER DNR CPS (1056)  
 3. WHEN JOINTS ARE NECESSARY REFER TO DNR CPS (1056)  
 4. FILTER FABRIC TO BE OF NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH - 50 LB/LIN. IN. (MIN.) - AND WITH A FLOW RATE OF AT LEAST 0.3 GAL/SEC. FT./MIN. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS  
 5. THE FILTER FABRIC SHALL BE ANCHORED BY SPREADING AT LEAST 3 INCHES OF FABRIC IN A 4' X 6' TRENCH  
 6. THE FILTER FABRIC SHALL BE STAPLED AND/OR NAILED TO THE UPSLOPE SIDE OF THE POSTS.  
 7. POST TO BE 1 1/8" X 1 1/8" HICKORY OR OAK, 3 FEET LONG, SPACED A MAXIMUM OF 3 FEET APART.  
 8. USE WIRE REINFORCEMENT IN UNSTABILIZED SLOPES, DITCHES AND DIVERSIONS.  
 9. USE WISDOT APPROVED SILT FENCE



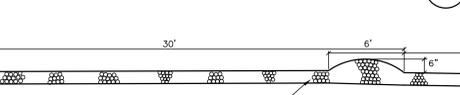
**NOTE:**  
 INSTALL IN ALL STORM INLETS AND CATCH BASINS LOCATED WITHIN AND ADJACENT TO THE CONSTRUCTION AREA



**NOTE:**  
 INSTALL IN ALL STORM INLETS AND CATCH BASINS LOCATED WITHIN AND ADJACENT TO THE CONSTRUCTION AREA



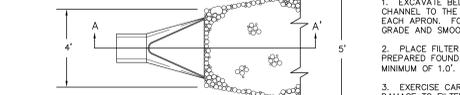
**CONSTRUCTION SCHEDULE**  
 1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.  
 2. FLAG THE WORK LIMIT AND BUFFER AREA FOR PROTECTION.  
 3. INSTALL CONSTRUCTION EXIT.  
 4. INSTALL SILT FENCE AROUND SITE PERIMETERS WITHIN THE PLAN.  
 5. ROUGH GRADE SITE.  
 6. STOOPLE TOP SOIL IN DESIGNATED AREA.  
 7. INSTALL PROPOSED UTILITIES.  
 8. INSTALL GRATE SCREEN COVER IN ALL NEW INLETS.  
 9. INSTALL OUTLET PROTECTION FOR STORM END SECTIONS.  
 10. INSTALL BASE COURSE OF PAVEMENT.  
 11. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MULCH ALL DISTURBED AREAS.  
 12. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.  
 13. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.  
 14. ESTIMATED TIME BEFORE FINAL STABILIZATION - 9 MONTHS.



**CONSTRUCTION SPECIFICATIONS**  
 1. EXCAVATE BELOW CHANNEL OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIP RAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.  
 2. PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1 FT.  
 3. EXERCISE CARE IN RIP RAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.  
 4. PLACE RIP RAP ON ZERO GRADE - TOP OF RIP RAP TO BE LEVEL WITH EXISTING OUTLET - NO OVERFALL AT ENDS.  
 5. RIP RAP TO BE HARD, ANGULAR, WELL GRADE STONE OF 3" TO 4" DIA.  
 6. IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.

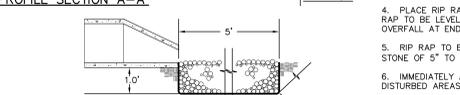


**MAINTENANCE PLAN**  
 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 7 RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.  
 2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.  
 3. ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A WOODRUS, DENSE VEGETATIVE COVER.  
 4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.



**WINTER CONDITIONS**  
 DURING WINTER CONSTRUCTION (NOVEMBER 1 TO MAY 1), CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER, POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) ON ALL DISTURBED AREAS THAT ARE NOT TO BE DISTURBED BEYOND 7 DAYS. CONTRACTOR TO INSTALL PAM PER WNR TECHNICAL STANDARD 1050 AND THE MANUFACTURERS SPECIFICATIONS.  
 PREScriptive COMPLIANCE AREAS:  
 PER WNR NR1517 WS ADM. CODE  
 MAXIMUM PERIOD OF BARE SOIL EXPOSURE FOR SLOPES EXCEEDING 20%  

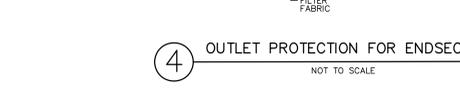
LAND DISTURBANCE BETWEEN SEPT. 15TH AND MAY 1ST	LAND DISTURBANCE BETWEEN MAY 2ND AND SEPT. 15TH
MAXIMUM PERIOD OF BARE SOIL EXPOSURE (CALENDAR DAYS)	MAXIMUM PERIOD OF BARE SOIL EXPOSURE (CALENDAR DAYS)



**TEMPORARY STABILIZATION METHODS**  
 TEMPORARY SEEDING:  
 DURING GROWING SEASON (MAY 2 - OCTOBER 31) TEMPORARY SEEDING (COVER CROP) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.  

Species	Lbs./Acre	Percent Purity
Oats	131	98
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97

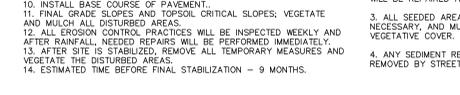
 \* Soil Seeding  
 LAND APPLICATION OF ADDITIVES:  
 DURING NONGROWING SEASON (NOVEMBER 1 - MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) - SEE WNR TECHNICAL STANDARD 1050.  
 STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.



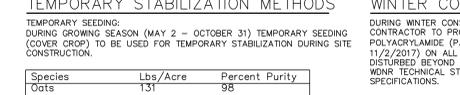
**TEMPORARY SEEDING DATES**  
 OATS - 4/1-9/1  
 ANNUAL RYEGRASS - 4/1-9/1  
 WINTER WHEAT - 8/1-10/1  
 WINTER CEREAL RYE - 8/1-10/15  
 (FOR TEMPORARY COVER SEED AT 131# PER ACRES)  
 DURING NON-GROWING SEASON (AFTER OCT. 15TH SEEDING DEADLINE):  
 AREAS THAT ARE INACTIVE DURING NON-GROWING SEASON MUST BE STABILIZED WITH ANIONIC POLYACRYLAMIDE (POLYMER). SEE WNR TECHNICAL STANDARD 1050.



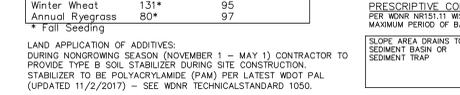
**LEGEND**  
 - - - - - 879 - - - - - EXISTING CONTOUR  
 - - - - - 882 - - - - - PROPOSED CONTOUR  
 x 881.5 - - - - - PROPOSED ELEVATION  
 - - - - - ST - - - - - PROPOSED STORM SEWER  
 - - - - - - - - - - PROPOSED SILT FENCE



**EROSION CONTROL PRACTICES SCHEDULE**  
 ① SILT FENCE  
 ② CONSTRUCTION EXIT  
 ③ INLET PROTECTION  
 ④ OUTLET PROTECTION  
 ⑤ EROSION MATTING  
 FOR FINAL STABILIZATION, PROVIDE CLASS I, TYPE B EROSION MAT PER WISDOT EROSION CONTROL PAL (OR EQ/L) IN ALL ROADSIDE DITCHES, DEFINED SWALES, SIDE SLOPES, OUTLET BERMS AND ALL OTHER SLOPES 4:1 OR GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.  
 SEE WNR TECHNICAL STANDARD 1059 FOR SEEDING  
 DURING GROWING SEASON (SOIL TEMPERATURES REMAIN CONSISTENTLY ABOVE 53°):



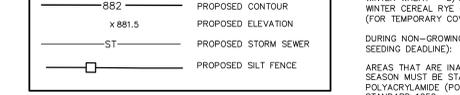
**NOTES:**  
 1. ALL EROSION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE TOWN OF LISBON STANDARDS AND WNR CPS TECHNICAL STANDARDS.  
 2. ALL EXPOSED SOIL AREAS NOT DISTURBED WITHIN SEVEN (7) DAYS SHALL BE IMMEDIATELY RESTORED WITH SEED AND MULCH OR POLYMER.  
 SEE WNR TECHNICAL STANDARD 1059 FOR SEEDING  
 DURING GROWING SEASON (SOIL TEMPERATURES REMAIN CONSISTENTLY ABOVE 53°):



**GRAPHIC SCALE**  
 1 inch = 30 ft



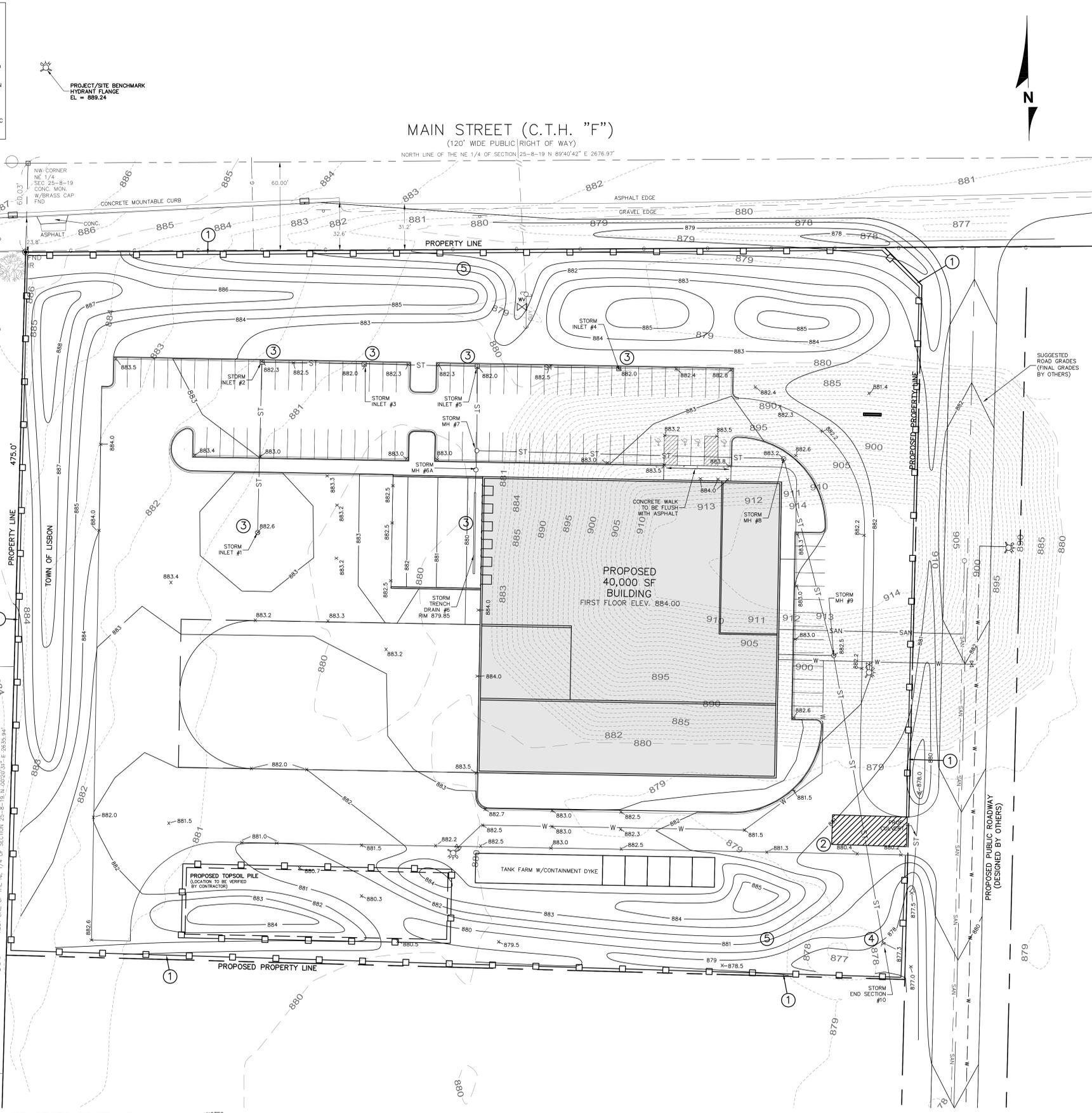
**CONSTRUCTION SCHEDULE**  
 1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.  
 2. FLAG THE WORK LIMIT AND BUFFER AREA FOR PROTECTION.  
 3. INSTALL CONSTRUCTION EXIT.  
 4. INSTALL SILT FENCE AROUND SITE PERIMETERS WITHIN THE PLAN.  
 5. ROUGH GRADE SITE.  
 6. STOOPLE TOP SOIL IN DESIGNATED AREA.  
 7. INSTALL PROPOSED UTILITIES.  
 8. INSTALL GRATE SCREEN COVER IN ALL NEW INLETS.  
 9. INSTALL OUTLET PROTECTION FOR STORM END SECTIONS.  
 10. INSTALL BASE COURSE OF PAVEMENT.  
 11. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MULCH ALL DISTURBED AREAS.  
 12. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.  
 13. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.  
 14. ESTIMATED TIME BEFORE FINAL STABILIZATION - 9 MONTHS.



**CONSTRUCTION SPECIFICATIONS**  
 1. EXCAVATE BELOW CHANNEL OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIP RAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.  
 2. PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1 FT.  
 3. EXERCISE CARE IN RIP RAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.  
 4. PLACE RIP RAP ON ZERO GRADE - TOP OF RIP RAP TO BE LEVEL WITH EXISTING OUTLET - NO OVERFALL AT ENDS.  
 5. RIP RAP TO BE HARD, ANGULAR, WELL GRADE STONE OF 3" TO 4" DIA.  
 6. IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.



**CONSTRUCTION SCHEDULE**  
 1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.  
 2. FLAG THE WORK LIMIT AND BUFFER AREA FOR PROTECTION.  
 3. INSTALL CONSTRUCTION EXIT.  
 4. INSTALL SILT FENCE AROUND SITE PERIMETERS WITHIN THE PLAN.  
 5. ROUGH GRADE SITE.  
 6. STOOPLE TOP SOIL IN DESIGNATED AREA.  
 7. INSTALL PROPOSED UTILITIES.  
 8. INSTALL GRATE SCREEN COVER IN ALL NEW INLETS.  
 9. INSTALL OUTLET PROTECTION FOR STORM END SECTIONS.  
 10. INSTALL BASE COURSE OF PAVEMENT.  
 11. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MULCH ALL DISTURBED AREAS.  
 12. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.  
 13. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.  
 14. ESTIMATED TIME BEFORE FINAL STABILIZATION - 9 MONTHS.



**WIKOFF - LIEDS DEVELOPMENT**  
 TOWN OF LISBON, WISCONSIN

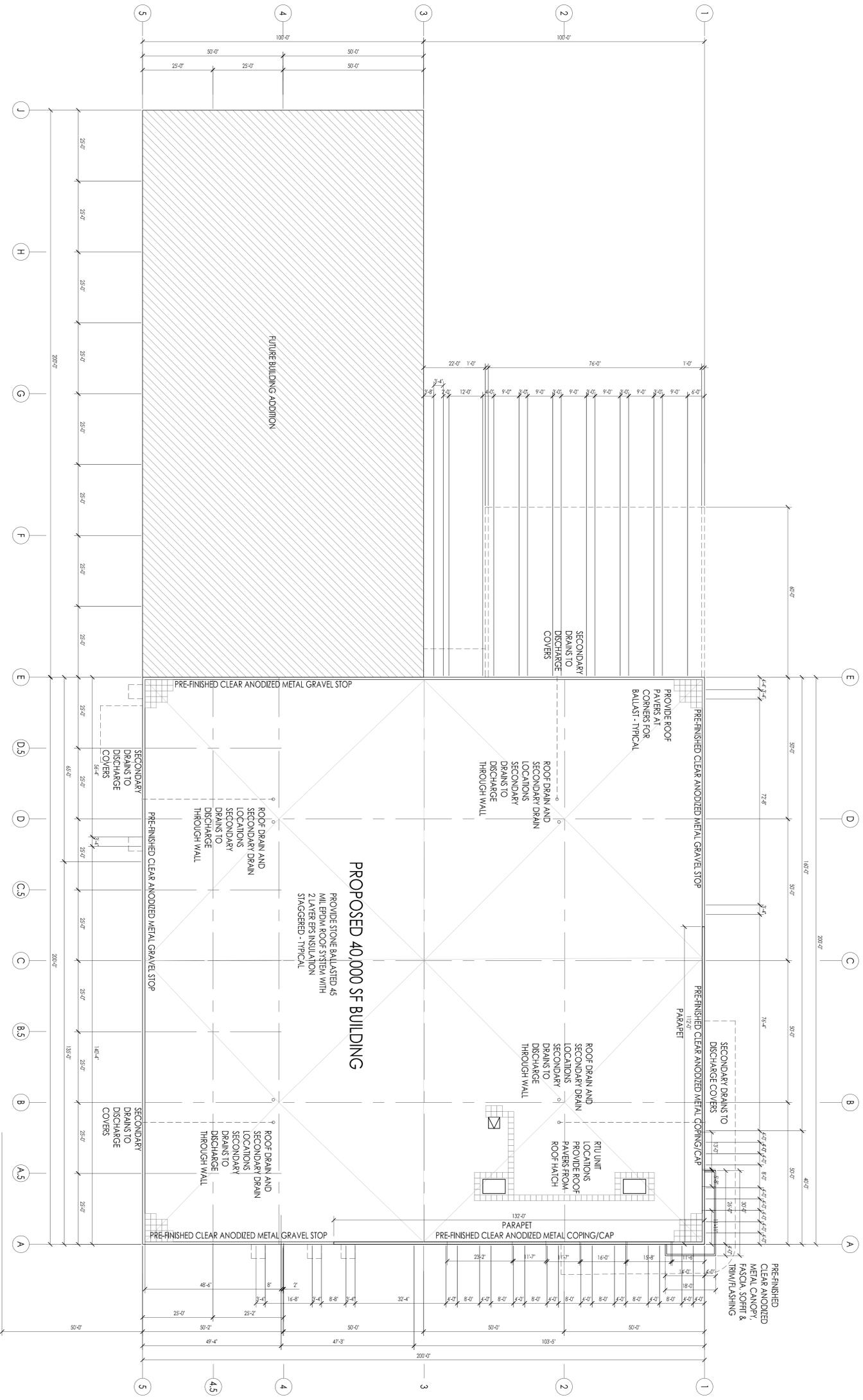
CJE NO.: CJE1940R2  
 NOVEMBER 25, 2019

**EROSION CONTROL PLAN C4.0**  
 SHEET 4 OF 4

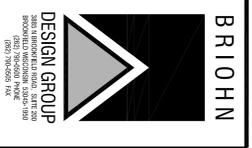









  
**1** ROOF PLAN
   
 Scale: 1/16" = 1'-0"



SHEET TITLE  
**SCHEMATIC ROOF PLAN**

PROPOSED NEW MANUFACTURING FACILITY - BUILDING FOR:  
**WIKOFF COLORS**  
MAIN STREET C.T.H."F"  
TOWN OF LISBON, WISCONSIN 53089

|   |                  |
|---|------------------|
| JOB: _____<br>DRAWN: _____<br>CHECKED: _____<br>DATE: NOVEMBER 25, 2019<br>SHEET: _____ | 3142<br>DE<br>DE |
|---|------------------|

A4.0



4 PERSPECTIVE VIEW  
LOOKING NORTHWEST AT SOUTH ELEVATION



3 PERSPECTIVE VIEW  
LOOKING WEST AT EAST ELEVATION



2 PERSPECTIVE VIEW  
LOOKING SOUTHWEST AT NORTHEAST CORNER - BUILDING MAIN ENTRIES



1 PERSPECTIVE VIEW  
LOOKING SOUTH AT NORTH ELEVATION





Parcel Zoning: M-2 General Industrial

**North Buffer Requirements**  
 Parcel LUI Factor: 9  
 Adjacent Parcel LUI Factor: 7  
 Arterial Road (Main St.) Credit: 4  
 Total LUI Difference: 0

Length of Buffer: 575 Feet  
 Buffer Width: 20 Feet  
 Required Shade Trees: 11.5 Trees  
 Required Evergreen Trees: 34.5 Trees  
 Required Shrubs: 115 Shrubs

**West Buffer Requirements**  
 Parcel LUI Factor: 9  
 Adjacent Parcel LUI Factor: 9  
 Total LUI Difference: 0

Length of Buffer: 475 Feet  
 Buffer Width: 20 Feet  
 Required Shade Trees: 9.5 Trees  
 Required Evergreen Trees: 28.5 Trees  
 Required Shrubs: 95 Shrubs

**South Buffer Requirements**  
 Parcel LUI Factor: 9  
 Adjacent Parcel LUI Factor: 9  
 Total LUI Difference: 0

Length of Buffer: 601 Feet  
 Buffer Width: 20 Feet  
 Required Shade Trees: 12.0 Trees  
 Required Evergreen Trees: 36.1 Trees  
 Required Shrubs: 120.2 Shrubs

**East Buffer Requirements**  
 Parcel LUI Factor: 9  
 Adjacent Parcel LUI Factor: 9  
 Total LUI Difference: 0

Length of Buffer: 505 Feet  
 Buffer Width: 20 Feet  
 Required Shade Trees: 10.1 Trees  
 Required Evergreen Trees: 30.3 Trees  
 Required Shrubs: 101 Shrubs

Table 3 - Land Use Buffer/ Landscape Design

Buffer type planted per 100 LF of buffer

| LUI Diff. | Width (ft) | Shade Trees | Evergreen Trees | Shrubs |
|-----------|------------|-------------|-----------------|--------|
| 0-3       | 20         | 2           | 6               | 20     |
| 4         | 30         | 3           | 8               | 25     |
| 5         | 40         | 3           | 10              | 35     |
| 6-8       | 50         | 6           | 14              | 45     |

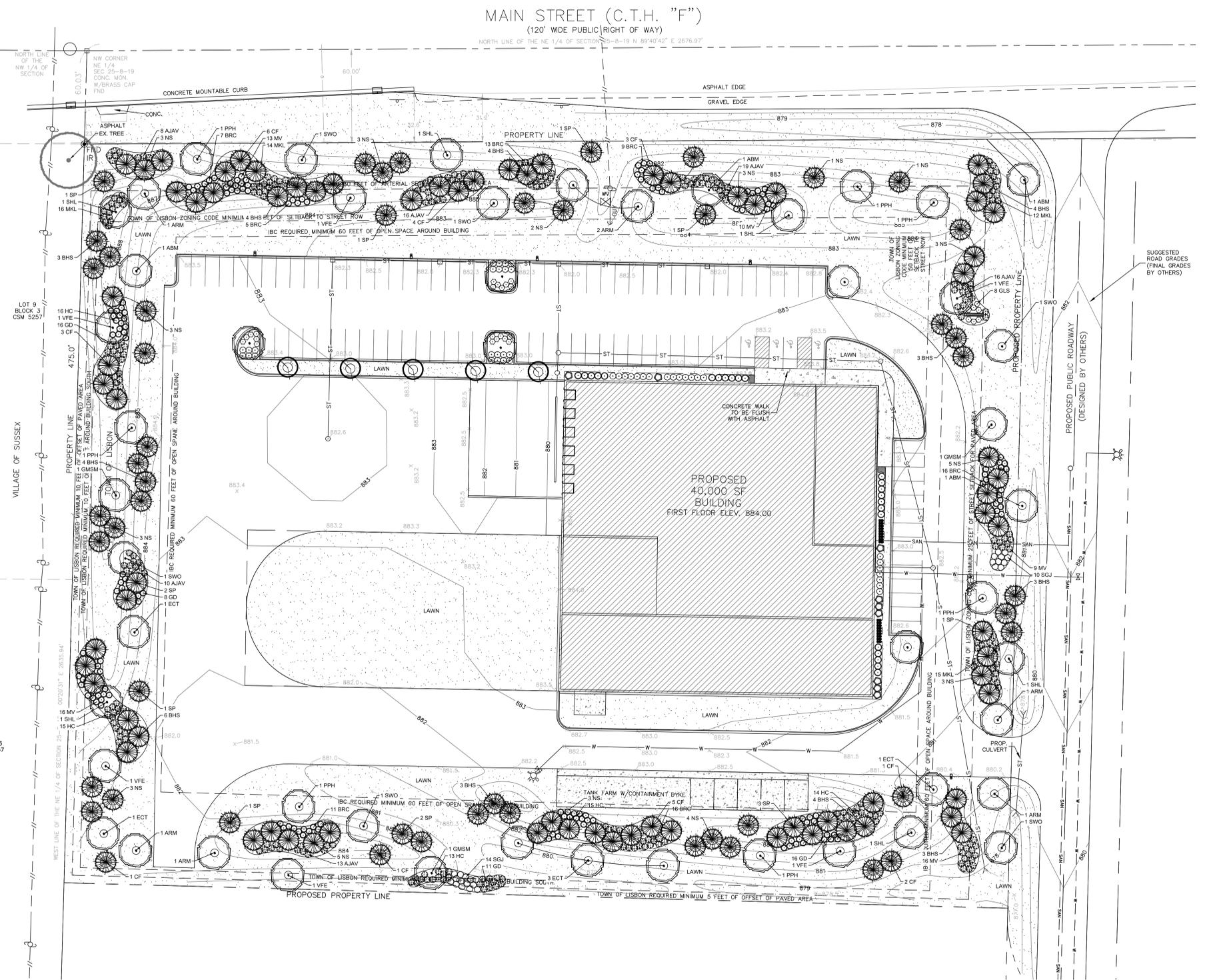
Table 2 - Intervening Right-of-Way Credit

| Right of Way or Easement Width | Reduction of LUI Diff. |
|--------------------------------|------------------------|
| Local Road                     | 1                      |
| Collector Road                 | 2                      |
| Arterial Road                  | 4                      |
| Limited Access HWY             | 6                      |

Utility Easement (ft)

|             |   |
|-------------|---|
| 20 to 50    | 1 |
| 51 to 100   | 2 |
| 101 to 150  | 3 |
| 151 or more | 4 |

### CODE REQUIREMENTS



**OVERALL LANDSCAPE PLAN**  
 Scale: 1" = 30'0"



## OVERALL LANDSCAPE PLAN

PROPOSED NEW MANUFACTURING FACILITY - BUILDING FOR:  
**WIKOFF COLORS**  
 MAIN STREET C.T.H. "F"  
 TOWN OF LISBON, WISCONSIN 53089



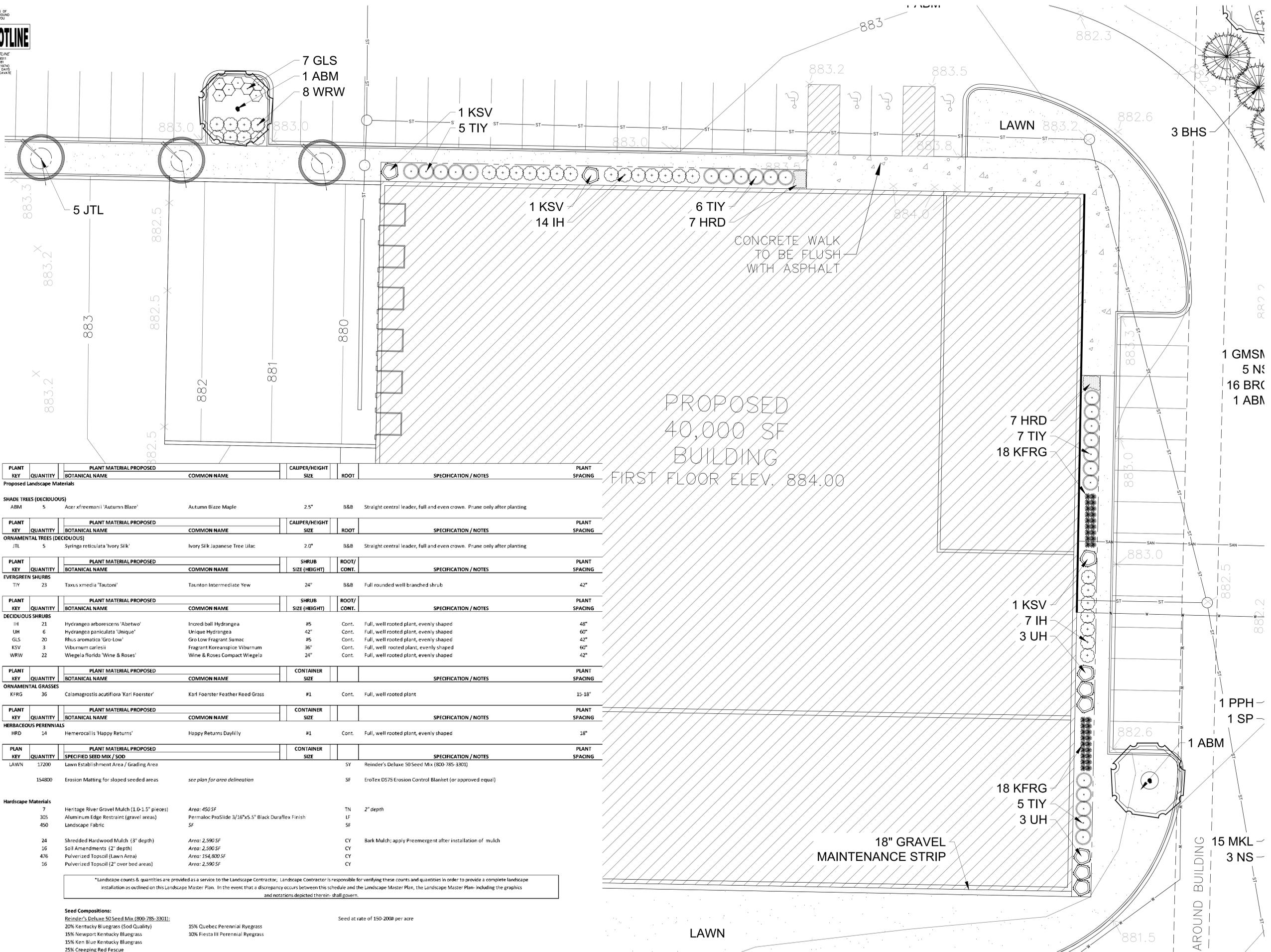


ENLARGED LANDSCAPE PLAN

SHEET TITLE

PROPOSED NEW MANUFACTURING FACILITY - BUILDING FOR:  
**WIKOFF COLORS**  
MAIN STREET C.T.H."F"  
TOWN OF LISBON, WISCONSIN 53089

Table with columns: JOB: 3142, DRAWN: PCA, CHECKED: WDH, DATE: NOVEMBER 25, 2019, SHEET: L 1.2



PLANT & MATERIAL SCHEDULE: SITE INTERIOR. Table with columns: PLANT KEY, QUANTITY, PLANT MATERIAL PROPOSED (BOTANICAL NAME, COMMON NAME), CALIPER/HEIGHT, ROOT, SPECIFICATION / NOTES, PLANT SPACING. Includes sections for Proposed Landscape Materials, Shade Trees, Ornamental Trees, Evergreen Shrubs, Deciduous Shrubs, Ornamental Grasses, Herbaceous Perennials, Lawn, and Hardscape Materials.

\*Landscape counts & quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan, including the graphics and notations depicted therein, shall govern.

Seed Compositions: Reindeer's Deluxe 50 Seed Mix (800-785-3301): 20% Kentucky Bluegrass (Sod Quality), 15% Newport Kentucky Bluegrass, 15% Ken Blue Kentucky Bluegrass, 25% Creeping Red Fescue, 15% Quebec Perennial Ryegrass, 10% Fiesta III Perennial Ryegrass. Seed at rate of 150-200# per acre.

PLANT & MATERIAL SCHEDULE: SITE INTERIOR





- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8811) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide one slow release fertilizer packets (per 1" caliper) for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% Soil Amendments (see Note 11). Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting details or planting plan) shredded hardwood bark mulch ring / saucer around all trees. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of Soil Amendments with blended, pulverized topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soils (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 2/3 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree rings to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All shrub planting and perennial planting bed areas (groupings) shall receive a 2-3" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Rotate all the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:
  - Per 100 SF of bed area (Soil Amendment composition):
  - 3/4 CY Peat Moss or Mushroom Compost
  - 3/4 CY blended/pulverized Topsoil
  - 1/4 CY composted manure

In roto-filled beds only, also include in above mixture:  
2 lbs Starter Fertilizer

- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer (20-10-6, or approved comparable) and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.

An acceptable quality seed installation is defined as having:  
No bare spots larger than one (1) square foot  
No more than 10% of the total area with bare areas larger than one (1) square foot  
A uniform coverage through all turf areas

- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

## LANDSCAPE GENERAL NOTES

| PLANT KEY | QUANTITY | PLANT MATERIAL PROPOSED |             | CALIPER/HEIGHT | ROOT | SPECIFICATION / NOTES | PLANT SPACING |
|-----------|----------|-------------------------|-------------|----------------|------|-----------------------|---------------|
|           |          | BOTANICAL NAME          | COMMON NAME |                |      |                       |               |

### Proposed Landscape Materials

#### SHADE TREES (DECIDUOUS)

| PLANT KEY     | QUANTITY  | BOTANICAL NAME                      | COMMON NAME                   | CALIPER/HEIGHT | ROOT | SPECIFICATION / NOTES   | PLANT SPACING |
|---------------|-----------|-------------------------------------|-------------------------------|----------------|------|---|---------------|
| ARM           | 7         | Acer xfreemanii 'Armstrong'         | Armstrong Red Maple           | 2.5"           | B&B  | Straight central leader, full and even crown. Prune only after planting |               |
| ABM           | 4         | Acer xfreemanii 'Autumn Blaze'      | Autumn Blaze Maple            | 2.5"           | B&B  | Straight central leader, full and even crown. Prune only after planting |               |
| GMSM          | 3         | Acer saccharum 'Green Mountain'     | Green Mountain Sugar Maple    | 2.5"           | B&B  | Straight central leader, full and even crown. Prune only after planting |               |
| PPH           | 7         | Celtis occidentalis 'Prairie Pride' | Prairie Pride Hackberry       | 2.5"           | B&B  | Straight central leader, full and even crown. Prune only after planting |               |
| SHL           | 6         | Gleditsia triacanthos 'Skyline'     | Skyline Honeylocust           | 2.5"           | B&B  | Straight central leader, full and even crown. Prune only after planting |               |
| ECT           | 6         | Gymnocladus dioica 'Espresso-JFS'   | Espresso Kentucky Coffee Tree | 2.5"           | B&B  | Straight central leader, full and even crown. Prune only after planting |               |
| SWO           | 6         | Quercus bicolor                     | Swamp White Oak               | 2.5"           | B&B  | Straight central leader, full and even crown. Prune only after planting |               |
| VFE           | 6         | Ulmus americana 'Valley Forge'      | Valley Forge American Elm     | 2.5"           | B&B  | Straight central leader, full and even crown. Prune only after planting |               |
| <b>TOTAL:</b> | <b>45</b> |                                     |                               |                |      |   |               |

| PLANT KEY | QUANTITY | PLANT MATERIAL PROPOSED |             | HEIGHT | ROOT | SPECIFICATION / NOTES | PLANT SPACING |
|-----------|----------|-------------------------|-------------|--------|------|-----------------------|---------------|
|           |          | BOTANICAL NAME          | COMMON NAME |        |      |                       |               |

#### EVERGREEN TREES

| PLANT KEY     | QUANTITY   | BOTANICAL NAME         | COMMON NAME        | SHRUB SIZE (HEIGHT) | ROOT/CONT. | SPECIFICATION / NOTES                           | PLANT SPACING |
|---------------|------------|------------------------|--------------------|---------------------|------------|---|---------------|
| CF            | 26         | Abies concolor         | Concolor Fir       | 7-8'                | B&B        | Evenly shaped tree with branching to the ground | 15'           |
| NS            | 45         | Picea abies            | Norway Spruce      | 7-8'                | B&B        | Evenly shaped tree with branching to the ground | 17'           |
| BHS           | 45         | Picea glauca 'densata' | Black Hills Spruce | 7-8'                | B&B        | Evenly shaped tree with branching to the ground | 15'           |
| SP            | 14         | Pinus sylvestris       | Scots Pine         | 6-7'                | B&B        | Evenly shaped tree with branching to the ground | 15'           |
| <b>TOTAL:</b> | <b>130</b> |                        |                    |                     |            |   |               |

| PLANT KEY | QUANTITY | PLANT MATERIAL PROPOSED |             | SHRUB SIZE (HEIGHT) | ROOT/CONT. | SPECIFICATION / NOTES | PLANT SPACING |
|-----------|----------|-------------------------|-------------|---------------------|------------|-----------------------|---------------|
|           |          | BOTANICAL NAME          | COMMON NAME |                     |            |                       |               |

#### EVERGREEN SHRUBS

| PLANT KEY | QUANTITY | BOTANICAL NAME                  | COMMON NAME       | SHRUB SIZE (HEIGHT) | ROOT/CONT. | SPECIFICATION / NOTES            | PLANT SPACING |
|-----------|----------|---------------------------------|-------------------|---------------------|------------|----------------------------------|---------------|
| SGJ       | 24       | Juniperus chinensis 'Sea Green' | Sea Green Juniper | #5                  | Cont.      | Full rounded well branched shrub | 54"           |

| PLANT KEY | QUANTITY | PLANT MATERIAL PROPOSED |             | SHRUB SIZE (HEIGHT) | ROOT/CONT. | SPECIFICATION / NOTES | PLANT SPACING |
|-----------|----------|-------------------------|-------------|---------------------|------------|-----------------------|---------------|
|           |          | BOTANICAL NAME          | COMMON NAME |                     |            |                       |               |

#### DECIDUOUS SHRUBS

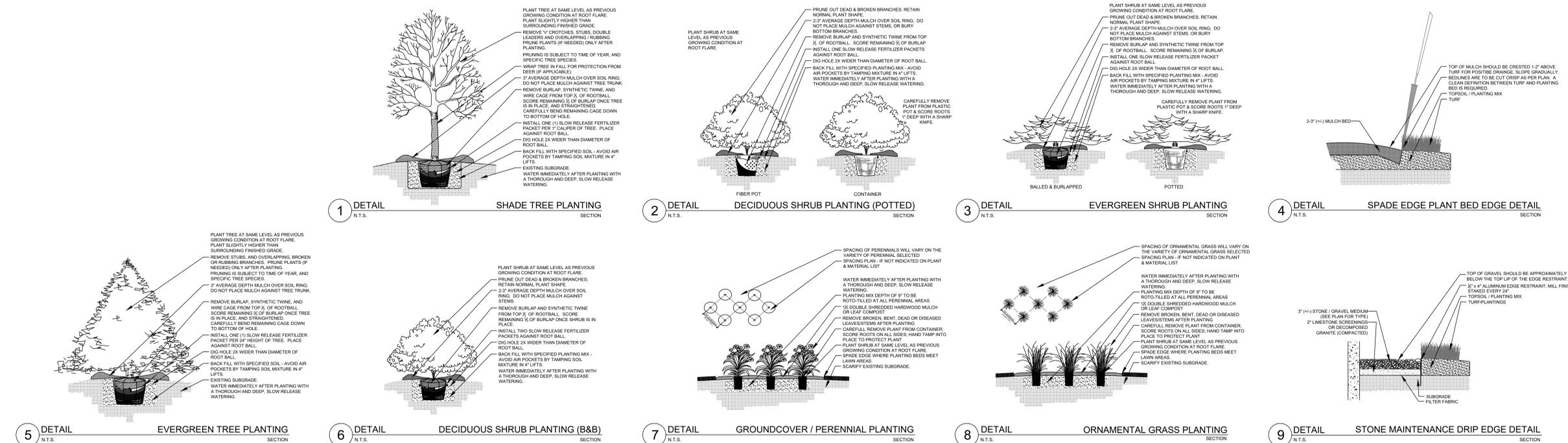
| PLANT KEY     | QUANTITY   | BOTANICAL NAME                       | COMMON NAME                    | SHRUB SIZE (HEIGHT) | ROOT/CONT. | SPECIFICATION / NOTES   | PLANT SPACING |
|---------------|------------|--------------------------------------|--------------------------------|---------------------|------------|---|---------------|
| BRC           | 77         | Aronia arbutifolia 'Brilliantissima' | Brilliant Red Chokeberry       | 42"                 | Cont.      | Full, well rooted plant, evenly shaped                              | 48"           |
| GD            | 51         | Cornus racemosa                      | Gray Dogwood                   | 42"                 | Cont.      | Full, well rooted plant, evenly shaped                              | 60"           |
| HC            | 73         | Cotoneaster acutifolia               | Peking (Hedge) Cotoneaster     | 42"                 | B&B        | Full, well rounded plant with moist rootball and healthy appearance | 30-42"        |
| GLS           | 8          | Rhus aromatica 'Gro-Low'             | Gro Low Fragrant Sumac         | #5                  | Cont.      | Full, well rooted plant, evenly shaped                              | 42"           |
| MKL           | 57         | Syringa patula 'Miss Kim'            | Miss Kim Dwarf Lilac           | 24"                 | Cont.      | Full, well rooted plant, evenly shaped                              | 60"           |
| AJAV          | 82         | Viburnum dentatum 'Autumn Jazz'      | Autumn Jazz Arrowwood Viburnum | 42"                 | Cont.      | Full, well rooted plant, evenly shaped                              | 60"           |
| MV            | 64         | Viburnum lantana 'Mohican'           | Mohican Viburnum               | 42"                 | B&B        | Full, well rounded plant with moist rootball and healthy appearance | 60"           |
| <b>TOTAL:</b> | <b>436</b> |                                      |                                |                     |            |   |               |

#### Hardscape Materials

| QUANTITY | DESCRIPTION                            | AREA            | TYPE | NOTES   |
|----------|--|-----------------|------|---|
| 414      | Shredded Hardwood Mulch (3" depth)     | Area: 15,205 SF | CY   | Bark Mulch; apply Preemergent after installation of mulch |
| 93       | Soil Amendments (2" depth)             | Area: 15,205 SF | CY   |   |
| 93       | Pulverized Topsoil (2" over bed areas) | Area: 15,205 SF | CY   |   |

\*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan - including the graphics and notations depicted therein - shall govern.

## PLANT & MATERIAL SCHEDULE: BUFFERYARD



PROPOSED NEW MANUFACTURING FACILITY - BUILDING FOR:

WIKOFF COLORS  
MAIN STREET C.T.H."F"  
TOWN OF LISBON, WISCONSIN 53089

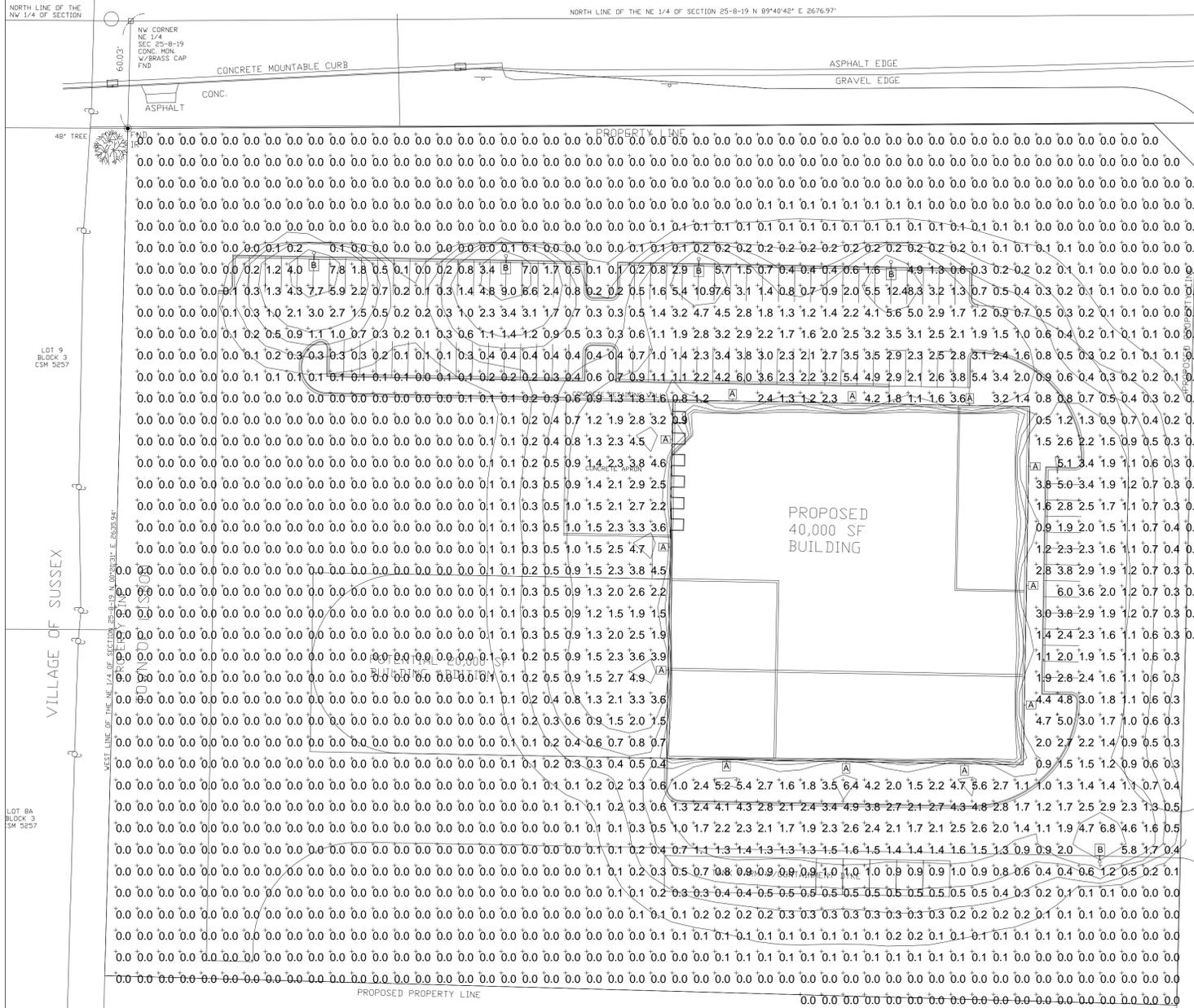
JOB: 3142  
DRAWN: PCA  
CHECKED: WDH  
DATE: NOVEMBER 25, 2019  
SHEET:

## PLANTING & HARDSCAPE DETAILS

L 1.3

PROJECT/SITE BENCHMARK  
HYDRANT FLANGE  
EL = 889.24

MAIN STREET (C.T.H. "F")  
(120' WIDE PUBLIC RIGHT OF WAY)



| Statistics   |        |        |         |        |         |         |
|--------------|--------|--------|---------|--------|---------|---------|
| Description  | Symbol | Avg    | Max     | Min    | Max/Min | Avg/Min |
| Calc Zone #1 | +      | 0.7 fc | 16.0 fc | 0.0 fc | N/A     | N/A     |

| Luminaire Schedule |       |          |                    |                              |   |              |        |         |
|--------------------|-------|----------|--------------------|------------------------------|---|--------------|--------|---------|
| Symbol             | Label | Quantity | Manufacturer       | Catalog Number               | Description   | Number Lamps | Lumens | Wattage |
| ☐                  | A     | 12       | RAB LIGHTING, INC. | WPLED41105 (TYPE IV)         | CAST FINNED METAL HOUSING, 6 CIRCUIT BOARD, EACH WITH 1 LED, ANODIZED PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST GRAY PAINTED METAL LENS FRAME. | 6            | 13,680 | 105.4   |
|                    |       |          |                    | Building Mounted at 24'      |   |              |        |         |
| ☐                  | B     | 5        | RAB LIGHTING, INC. | WPLED41105 (TYPE IV)         | CAST FINNED METAL HOUSING, 6 CIRCUIT BOARD, EACH WITH 1 LED, ANODIZED PLASTIC REFLECTOR WITH SPECULAR FINISH AND 1 APERTURE PER LED, CLEAR FLAT GLASS LENS IN CAST GRAY PAINTED METAL LENS FRAME. | 6            | 13,680 | 105.4   |
|                    |       |          |                    | 10 pole mounted on a 6' base |   |              |        |         |

Exterior Photometric Lighting Plan

DATE:  
11-25-19

REVISIONS:



*RESIDENTIAL • COMMERCIAL • INDUSTRIAL*

*227 Weil Drive • Slinger, WI 53086*

*Phone(262)644-6940 • Fax(262)644-7647*

Wikoff

Exterior Lighting Submittal 11-25-19



Color: Bronze

Weight: 34.8 lbs

|                     |              |
|---------------------|--------------|
| <b>Project:</b>     | <b>Type:</b> |
| <b>Prepared By:</b> | <b>Date:</b> |

| Driver Info |                  | LED Info       |              |
|-------------|------------------|----------------|--------------|
| Type        | Constant Current | Watts          | 105.00W      |
| 120V        | 0.89A            | Color Temp     | 5000K (Cool) |
| 208V        | 0.58A            | Color Accuracy | 70 CRI       |
| 240V        | 0.50A            | L70 Lifespan   | 100,000      |
| 277V        | 0.44A            | Lumens         | 13,680       |
| Input Watts | 109.40W          | Efficacy       | 125 LPW      |
| Efficiency  | 96%              |                |              |

**Technical Specifications**

**Listings**

**UL Listed:**

Suitable for wet locations

**DLC Listed:**

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: P0000179G

**IESNA LM-79 & LM-80 Testing:**

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

**LED Characteristics**

**Lifespan:**

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

**LEDs:**

Multi-chip, high-output, long-life LEDs

**Color Consistency:**

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

**Color Stability:**

LED color temperature is warrantied to shift no more than 200K in CCT over a 5-year period

**Color Uniformity:**

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

**Construction**

**IES Classification:**

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semiCircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

**IP Rating:**

Ingress Protection rating of IP66 for dust and water

**Maximum Ambient Temperature:**

Suitable for use in 40°C (104°F)

**Cold Weather Starting:**

Minimum starting temperature is -40°C (-40°F)

**Thermal Management:**

Superior thermal management with external "Air-Flow" fins

**Housing:**

Die-cast aluminum housing, lens frame and mounting arm

**Mounting:**

Heavy-duty mounting arm with "O" ring seal & stainless steel screws

**Reflector:**

Specular vacuum-metallized polycarbonate

**Gaskets:**

High-temperature silicone gaskets

**Finish:**

Formulated for high durability and long-lasting color

**Green Technology:**

Mercury and UV free. RoHS-compliant components.

## Technical Specifications (continued)

### Electrical

#### Drivers:

Two Drivers, Constant Current, Class 2, 1400mA, 100-277V, 50/60Hz, 0.8A, Power Factor 99%

#### THD:

7.6% at 120V, 16.5% at 277V

### Other

#### Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).

#### Patents:

The design of WPLED105 is protected by patents pending in US, Canada, China, Taiwan and Mexico

### Buy American Act Compliance:

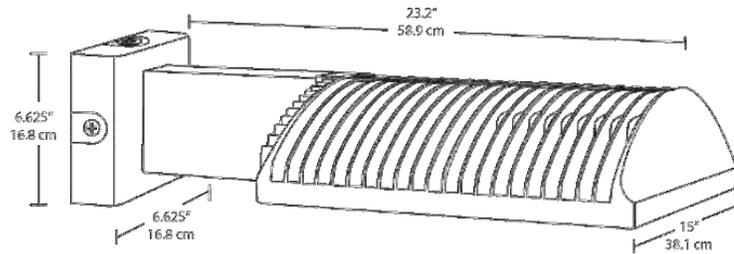
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

### Optical

#### BUG Rating:

B1 U0 G2

## Dimensions



## Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- Replaces 400W MH
- 100 up to 277 Volts
- 5-Year, No-Compromise Warranty

## Ordering Matrix

| Family | Optics  | Wattage  | Color Temp  | Mounting                       | Finish                      | Driver Options   | Other Options  |
|--------|---|--|---|--------------------------------|-----------------------------|--|--|
| WPLED  | 4T  | 105  |   |                                |                             |  |  |
|        | 4T = Type IV<br>3T = Type III<br>2T = Type II | 50 = 50W<br>78 = 78W<br>105 = 105W<br>125 = 125W<br>150 = 150W | Blank = 5000K (Cool)<br>N = 4000K (Neutral)<br>Y = 3000K (Warm) | Blank = Arm<br>FX = Flat Mount | Blank = Bronze<br>W = White | Blank = Standard<br>/480 = 480V<br>/BL = Bi-Level<br>/D10 = 0-10V Dimming<br>/480/D10 = 480V 0-10V Dimming | Blank = Standard<br>/PC = 120V Photocell<br>/PC2 = 277V Photocell<br>/PCT = 120-277V Twistlock Photocell<br>/PCT4 = 480V Twistlock Photocell<br>/PCS = 120V Swivel Photocell<br>/PCS2 = 277V Swivel Photocell<br>/PCS4 = 480V Swivel Photocell<br>/WS = Multi-Level Motion Sensor<br>/WS2 = Multi-Level Motion Sensor (20 ft. mt. ht.)<br>/WS4 = Multi-Level Motion Sensor (40 ft. mt. ht.)<br>/LC = Lightcloud Controller |



Color: Bronze

Weight: 32.8 lbs

**Project:**

**Type:**

**Prepared By:**

**Date:**

### Driver Info

|             |                  |
|-------------|------------------|
| Type        | Constant Current |
| 120V        | 0.89A            |
| 208V        | 0.58A            |
| 240V        | 0.50A            |
| 277V        | 0.44A            |
| Input Watts | 109.40W          |
| Efficiency  | 96%              |

### LED Info

|                |              |
|----------------|--------------|
| Watts          | 105.00W      |
| Color Temp     | 5000K (Cool) |
| Color Accuracy | 70 CRI       |
| L70 Lifespan   | 100,000      |
| Lumens         | 13,680       |
| Efficacy       | 125 LPW      |

## Technical Specifications

### Listings

#### UL Listed:

Suitable for wet locations

#### DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: P0000177G

#### IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

#### Dark Sky Conformance:

Conforms to (allows for conformance to) the IDA's fully shielding requirement, emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and pole).

### LED Characteristics

#### Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

#### LEDs:

Multi-chip, high-output, long-life LEDs

#### Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period

### Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

### Construction

#### IES Classification:

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semiCircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

#### Effective Projected Area:

EPA = 0.75

#### Maximum Ambient Temperature:

Suitable for use in 40°C (104°F)

#### Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

#### Thermal Management:

Superior thermal management with external "Air-Flow" fins

#### Lens:

Tempered glass lens

### Housing:

Die-cast aluminum housing, lens frame and mounting arm

### Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be >4" to mount fixtures at 90° orientation.

### Reflector:

Specular vacuum-metallized polycarbonate

### Gaskets:

High-temperature silicone gaskets

### IP Rating:

Ingress Protection rating of IP66 for dust and water

## Technical Specifications (continued)

### Construction

#### Finish:

Formulated for high durability and long-lasting color

#### Green Technology:

Mercury and UV free. RoHS-compliant components.

### Electrical

#### THD:

7.6% at 120V, 16.5% at 277V

#### Power Factor:

99.6% at 120V, 94.5% at 277V

#### Surge Protection:

4kV

#### Other

#### Compatibility:

Compatible with Round Poles with a diameter of 2.5" to 6"

#### BAA Compliance:

Click [here](#) for BAA compliance.

#### Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).

#### Equivalency:

Replaces 320W Metal Halide

#### Buy American Act Compliance:

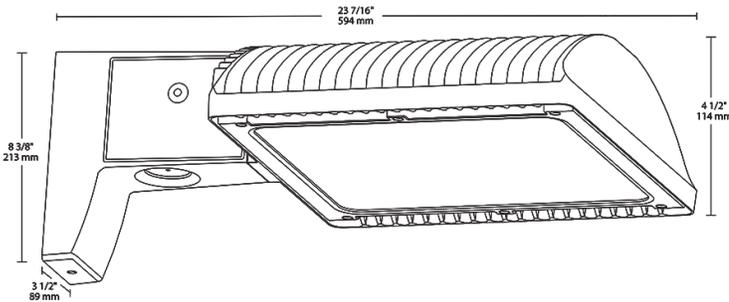
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

#### Optical

#### BUG Rating:

B1 U0 G2

## Dimensions



## Features

66% energy cost savings vs. HID

100,000-hour LED lifespan

5-Year, No-Compromise Warranty

## Ordering Matrix

| Family      | Optics   | Wattage   | Mounting  | Color Temp   | Finish  | Driver Options  | Options   | Other Options   |
|-------------|--|---|---|--|---|---|---|---|
| <b>ALED</b> | <b>4T</b>  | <b>105</b>  |   |  |   |   |   |   |
|             | <b>4T</b> = Type IV<br><b>3T</b> = Type III<br><b>2T</b> = Type II | <b>50</b> = 50W<br><b>78</b> = 78W<br><b>105</b> = 105W<br><b>125</b> = 125W<br><b>150</b> = 150W | <b>Blank</b> = Pole mount<br><b>SF</b> = Slipfitter | <b>Blank</b> = 5000K (Cool)<br><b>N</b> = 4000K (Neutral)<br><b>Y</b> = 3000K (Warm) | <b>Blank</b> = Bronze<br><b>RG</b> = Roadway Gray<br><b>W</b> = White<br><b>K</b> = Black | <b>Blank</b> = 120-277V<br><b>/480</b> = 480V<br><b>/BL</b> = Bi-Level Dimming<br><b>/D10</b> = 0-10V Dimming | <b>Blank</b> = No Option<br><b>/LC</b> = Lightcloud® Controller<br><b>/PCS</b> = 120V Swivel Photocell<br><b>/PCS2</b> = 277V Swivel Photocell<br><b>/PCT</b> = 120-277V Twistlock Photocell<br><b>/PCS4</b> = 480V Swivel Photocell<br><b>/PCT4</b> = 480V Twistlock Photocell<br><b>/WS</b> = Multi-Level Motion Sensor<br><b>/WS2</b> = Multi-Level Motion Sensor 20 ft.<br><b>/WS4</b> = Multi-Level Motion Sensor 40 ft. | <b>Blank</b> = Standard<br><b>USA</b> = BAA Compliant |



Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 105.8 lbs

|                     |              |
|---------------------|--------------|
| <b>Project:</b>     | <b>Type:</b> |
| <b>Prepared By:</b> | <b>Date:</b> |

**Technical Specifications**

**Listings**

**CSA Listed:**

Suitable for wet locations

**Construction**

**Shaft:**

46,000 p.s.i. minimum yield.

**Hand Holes:**

Reinforced with grounding lug and removable cover

**Base Plates:**

Slotted base plates 36,000 p.s.i.

**Shipping Protection:**

All poles are shipped in individual corrugated cartons to prevent finish damage

**Color:**

Bronze powder coating

**Height:**

15 FT

**Weight:**

106 lbs

**Gauge:**

11

**Wall Thickness:**

1/8"

**Shaft Size:**

4"

**Hand Hole Dimensions:**

3" x 5"

**Bolt Circle:**

8 1/2"

**Base Dimension:**

8"

**Anchor Bolt:**

Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

**Anchor Bolt Templates:**

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available [online](#).

**Pre-Shipped Anchor Bolts:**

Bolts can be pre-shipped upon request for additional freight charge

**Max EPA's/Max Weights:**

- 70MPH 17.4 ft./450 lb.
- 80MPH 12.5 ft./440 lb.
- 90MPH 9.0 ft./440 lb.
- 100MPH 6.6 ft./440 lb.
- 110MPH 4.8 ft./435 lb.
- 120MPH 3.4 ft./435 lb.
- 130MPH 2.3 ft./430 lb.
- 140MPH 1.4 ft./430 lb.
- 150MPH 0.8 ft./420 lb

**Other**

**Terms of Sale:**

Pole Terms of Sale is available [online](#).

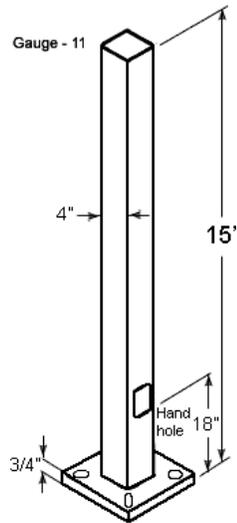
## Technical Specifications (continued)

### Other

#### Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

### Dimensions



### Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Anchor Bolt Kit includes pole cap and base cover (sold separately)
- Custom manufactured for each application

WPLED4T105

Fixture Type: A

RAB Outdoor



Color: Bronze Weight: 34.8 lbs

Project: Type:

Prepared By: Date: HFR electric inc. 11-25-19

Driver Info LED Info table with columns for Type, Constant Current, Watts, Color Temp, Color Accuracy, L70 Lifespan, Lumens, Input Watts, Efficacy

Technical Specifications

Listings UL Listed, DLC Listed, IESNA LM-79 & LM-80 Testing, LED Characteristics, Lifespan, LEDs, Color Consistency, Color Stability

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Mounting: Heavy-duty mounting arm with "O" ring seal & stainless steel screws. Reflector: Specular vacuum-metallized polycarbonate. Gaskets: High-temperature silicone gaskets.

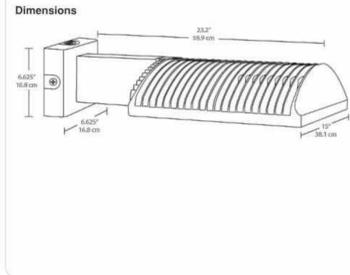
Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com

WPLED4T105

RAB Outdoor

Technical Specifications (continued)

Electrical Drivers: Two Drivers, Constant Current, Class 2, 1400mA, 100-277V, 50/60Hz, 0.8A, Power Factor 99% THD: 7.6% at 120V, 16.5% at 277V



Features High performance LED light engine. Maintains 70% of initial lumens at 100,000-hours. Weatherproof high temperature silicone gaskets.

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WPLED4T105

RAB Outdoor

Ordering Matrix

Ordering Matrix table with columns: Family, Optics, Wattage, Color Temp, Mounting, Finish, Driver Options, Other Options

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ALED4T105

Fixture Type: B

RAB Outdoor



Color: Bronze Weight: 32.8 lbs

Project: Type:

Prepared By: Date: HFR electric inc. 11-25-19

Driver Info LED Info table with columns for Type, Constant Current, Watts, Color Temp, Color Accuracy, L70 Lifespan, Lumens, Input Watts, Efficacy

Technical Specifications

Listings UL Listed, DLC Listed, IESNA LM-79 & LM-80 Testing, Dark Sky Conformance, LED Characteristics, Lifespan, LEDs, Color Stability

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Housing: Die-cast aluminum housing, lens frame and mounting arm. Mounting: Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center.

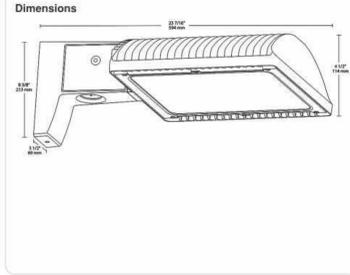
Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com

ALED4T105

RAB Outdoor

Technical Specifications (continued)

Construction Finish: Formulated for high durability and long-lasting color. Surge Protection: 4kV. Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA).



Features 66% energy cost savings vs. HID. 100,000-hour LED lifespan. 5-Year, No-Compromise Warranty

Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com

ALED4T105

RAB Outdoor

Ordering Matrix

Ordering Matrix table with columns: Family, Optics, Wattage, Mounting, Color Temp, Finish, Driver Options, Options, Other Options

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LIGHTING CUT SHEETS

PROPOSED NEW BUILDING: WIKOFF COLOR CORP. MAIN STREET TOWN OF LISBON, WI

JOB: 3142 DRAWN: CK CHECKED: DF / KJ DATE: 11/25/19 SHEET:

E2.0

PS4-11-15D2

15' pole

RAB



|                   |          |
|-------------------|----------|
| Project:          | Type:    |
| Prepared By:      | Date:    |
| HFR electric inc. | 11-25-19 |

Technical Specifications

|  |   |  |
|--|---|--|
| <b>Listings</b>  | <b>Weight:</b>                          | <b>Anchor Bolt:</b>  |
| <b>CSA Listed:</b><br>Suitable for wet locations   | 106 lbs                                 | Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.  |
| <b>Construction</b>  | <b>Gauge:</b>                           | <b>Anchor Bolt Templates:</b>  |
| <b>Shaft:</b><br>46,000 p.s.i. minimum yield.  | 11                                      | WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available <a href="#">online</a> .  |
| <b>Hand Holes:</b><br>Reinforced with grounding lug and removable cover  | <b>Wall Thickness:</b><br>1/8"          | <b>Pre-Shipped Anchor Bolts:</b>   |
| <b>Base Plates:</b><br>Slotted base plates 36,000 p.s.i.   | <b>Shaft Size:</b><br>4"                | Bolts can be pre-shipped upon request for additional freight charge  |
| <b>Shipping Protection:</b><br>All poles are shipped in individual corrugated cartons to prevent finish damage | <b>Hand Hole Dimensions:</b><br>3" x 5" | <b>Max EPA's/Max Weights:</b>  |
| <b>Color:</b><br>Bronze powder coating   | <b>Bolt Circle:</b><br>8 1/2"           | 70MPH 17.4 ft./450 lb.<br>80MPH 12.5 ft./440 lb.<br>90MPH 9.0 ft./440 lb.<br>100MPH 6.6 ft./440 lb.<br>110MPH 4.8 ft./435 lb.<br>120MPH 3.4 ft./435lb.<br>130MPH 2.3 ft./435 lb.<br>140MPH 1.4 ft./430 lb.<br>150MPH 0.8 ft./420 lb. |
| <b>Height:</b><br>15 FT  | <b>Base Dimension:</b><br>8"            | <b>Other</b>   |
|  |   | <b>Terms of Sale:</b><br>Pole Terms of Sale is available <a href="#">online</a> .  |

Need help? Tech help line: (888) 722-1000 Email: [custserv@rablighting.com](mailto:custserv@rablighting.com) Website: [www.rablighting.com](http://www.rablighting.com)  
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PS4-11-15D2

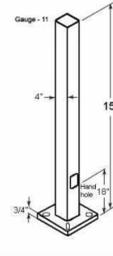
RAB

Technical Specifications (continued)

**Other**

**Buy American Act Compliance:**  
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Anchor Bolt Kit includes pole cap and base cover (sold separately)
- Custom manufactured for each application

Need help? Tech help line: (888) 722-1000 Email: [custserv@rablighting.com](mailto:custserv@rablighting.com) Website: [www.rablighting.com](http://www.rablighting.com)  
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SHEET TITLE LIGHTING CUT SHEETS

PROPOSED NEW BUILDING:  
WIKOFF COLOR CORP.  
MAIN STREET  
TOWN OF LISBON, WI

|          |          |
|----------|----------|
| JOB:     | 3142     |
| DRAWN:   | CK       |
| CHECKED: | DF / KJ  |
| DATE:    | 11/25/19 |
| SHEET:   |          |

E2.1



N27 W23957 Paul Road, Suite 105  
 Pewaukee, WI 53072  
 (262) 875-5000 phone  
 (608) 826-0530 FAX  
 www.vierbicher.com

December 5, 2019

Chairperson Osterman and Town Plan Commission Members  
 Town of Lisbon  
 W23N8676 Woodside Road  
 Lisbon, WI 53089

Re: Wikoff Color Corporation - Site Plan and Plan of Operation Review

Dear Plan Commission Members:

The above-referenced Site Plan / Plan of Operation was received in our office for review on behalf of the Town of Lisbon. A concept plan for the development was reviewed in November. A CSM for this area was previously approved but has not yet been recorded; the Town Engineer is preparing another CSM which will create the proposed site. We have reviewed the following application materials (all dated November 25, 2019 unless otherwise noted):

- Town Site Plan and Plan of Operation Application
- Civil Engineering Plans (including architectural renderings, Site Plan, Grading Plan, Utility Plan, and Erosion Control Plan)
- Landscape Plans
- Architectural Building Plans
- Photometric Site Lighting Plan and Lighting Cut Sheets
- Architectural Elevations and 3D-View renderings

### Summary

Wikoff Color Corporation, with assistance from Briohn Land Development LLC, is proposing to construct a new 40,000 square foot production facility for printing inks and printing plates at the southwest corner of Main Street (CTH F) and a new proposed street that is unconstructed and unnamed at this time. The site is owned by the Town of Lisbon and comprises approximately 6.7 acres of the former Lieds Nursery property. The site plan includes:

- A 40,000 square foot, single-story building with a potential 20,000 square-foot expansion area which would bring the facility up to 60,000 square feet total;
- 94 parking stalls (including four (4) ADA accessible stalls);
- Loading and access drives for large trucks;
- Outdoor storage of five 13,000-gallon tanks (to the south of the building) and possible detached storage shed (location unknown at this time);
- Sanitary sewer and municipal water service connections;
- Proposed monument sign location and conceptual design.

Wikoff Color Corporation anticipates 34 full-time employees at the site, with operations running Monday through Friday, 6:00 am to 6:00 pm. The Plan of Operation notes the potential for occasional noise and odors beyond the walls of the building.

### Application Review

The parcel is subject to compliance with the Town Code Chapters 11, 12, 13, other applicable Chapters. The applicant has agreed to comply with the Town's Design Standards for Special Use Districts. The land is also within the Village of Sussex Joint Planning Area (JPA) and Extraterritorial Area.

#### **Background Information**

Property owner: Town of Lisbon

Location: Main Street / CTH F (southwest corner of Main Street and the new unnamed street)

Tax Key: LSBT0241999

Adjacent land uses and zoning:

North: Commercial site (in Village of Sussex, across CTH F, zoned for Highway Business)

South: vacant lands (zoned M-2 General Industrial)

East: vacant lands (zoned M-2 General Industrial)

West: Industrial sites (in Village of Sussex, zoned Industrial)



Existing and Proposed Zoning: M-2 General Industrial

Future Land Use: "Industrial" and "Other Open Lands to be Preserved" (see inset map image)

The use, removal, and/or distribution of the waste soil on the site shall be worked out between the Town and the applicant separate from this application. For the purposes of this review, we have assumed the pile will be managed according to any applicable grading standards and disposal regulations.

#### **Consistency with Comprehensive Plan**

The proposed use is consistent with the Town Comprehensive Plan, including the Future Land Use Map. The areas mapped as "Other Open Lands to be Preserved" reflect potential site conditions of concern based on available data. Soil tests shall be done to confirm the soils are buildable. We believe the proposal is consistent with the Comprehensive Plan. The Plan identifies the commercial area in red on the aforementioned map as the special design district; however, the Town of Lisbon voluntarily adopted the design standards to this area as well per addendum F of the Zoning Code – approvable and enforceable by the Town of Lisbon. The applicant has received, reviewed, and agreed to use for site design.

#### **Site Plan and Plan of Operation Review Standards**

The Site Plan and Plan of Operation package that we received for review contains most of the items required by ordinance. See the comments below on the additional information needed.

1. A stakeout survey or plat of survey should be provided showing property dimensions, location of abutting platted road centerlines, and other features per Sec. 3(b)2.B. of the Zoning Ordinance. The final Site Plan should contain dimensions for all property lines and adjacent street ROW. The Town Engineer is currently preparing this CSM any approval shall be subject to the receiving CSM approval.
2. The landscape Plan sheets should clearly label surfaces for parking and loading areas or state the surface of hardscaped areas are listed within the civil and site plan drawings.
3. The landscape plan should include a timetable for completion.
4. Site plans should indicate the location for trash/recycling receptacles if they will be located outdoors. If outdoors, receptacles must be screened with a gated enclosure that blends with the

building exterior – this might include fencing, retaining walls, landscaping, building walls, or a combination of these (per Design Standards Sec. 4.1(D) and 4.2(C)). If they are not listed or shown, it is assumed trash/recycling receptacles are internal to the building. We assume these to be located internal to the building and adjacent to the 12'x14' overhead door shown on Sheet C1.0.

5. Any future expansion shall be required to submit an amendment to the SPPOO to ensure the site expansion is in compliance with the zoning code and the design standards.

### **Consistency with Zoning**

The proposed site plan has been reviewed with the assumption that the proposed property lines shown on the site plan will match those on the CSM being prepared by the Town Engineer. The site plan complies with the use and building requirements of the M-2 General Industrial zoning district (currently under review at Waukesha County), including building setbacks and offsets, building height, maximum floor area ratio, and lot size. Comments below relate to other details or standards that should be addressed.

#### *Zoning Code General Provisions*

1. The Town Zoning ordinance requires 600 parking stalls based on 40,000 square feet of floor area currently proposed (900 stalls based on 60,000 future footprints). The applicant will need to request a variance from the parking requirements based on the proposed site plan.  
  
Staff Note: this ordinance standard is archaic and lumps commercial and industrial users together and is not representative of the actual space needed for industrial and manufacturing uses. The Town may want to consider amending this ordinance provision in the future.
2. The parking information on site plan sheets should be updated to reflect the 94 proposed stalls. These are adequate to supply parking for their employees and customers.
3. The site plan provides more than the minimum four (4) loading spaces that are required by ordinance based on floor area.
4. As proposed, the landscape berms exceed the standards in Sec. 3(c)5.E of zoning code. The height of the berms would trigger the public hearing and Plan Commission approval because of the 3-feet-above-existing-topography threshold. The berms appear to meet the other standards and staff believes the proposed berms look appropriate and have ample variety but would need the additional hearing to comply with the ordinance. Plan Commission shall discuss with the applicant either retaining the berm height and scheduling a public hearing or the impact of reducing the berm height to the 3-feet-above-existing-topography threshold.
5. It is assumed the stormwater will drain to the exterior of the property (as shown in the plan) where it will be picked up by structured stormwater features and directed to a regional facility to be designed by the Town Engineer.
6. The site shall comply with the vision setback (vision corner) required in Sec. 3(g)1.B. Staff does not anticipate any issues with the building or parking placement, but the landscaping plan should be reviewed for conformance with the vision setback requirements.
7. The Applicant should confirm the proposed location of the “possible separate storage shed” indicated in the Plan of Operation. If the storage shed will have a side facing a rear or side lot line that is longer than 50 feet, the shed will be subject to offset requirements per Sec 3(g)1.K.2.A.x and 3(i)5.Y of Zoning Code – the offset is increased one foot for every foot the side of the building exceeds 50 feet in length.

8. Site plan sheets should modify the south offset lines and labels to indicate a minimum 10-foot pavement offset (per Sec. 3(j)6 of Zoning Code, even though Design Standards Sec. 3(A) requires 5 feet). The rear line does indicate the required 10' offset.
9. Lighting appears to comply with Town Code requirements that fixtures be hooded or beamed to eliminate glare, and pole lights comply with the maximum height of 18 feet (15 feet is proposed). However, to minimize the potential for glare visible from streets, the Plan Commission shall determine if the on-building lights should also be mounted at a maximum height of 18 feet (versus the 24 feet proposed). We recognize that this may result in changes to the light spread which may necessitate additional fixtures.
10. The proposed monument sign location appears to comply with minimum 20' required from base setback line and lot lines, and a conceptual signage plan appears to be within the maximum 20' height limit. Signage details are to be handled at a later date with an application for a sign permit.

*Zoning Code Addendum E Design Standards for Special Use Districts*

11. The site plan must show snow storage areas, to ensure snow can safely be removed from paved areas without damaging landscaping or illegally placing snow in the public ROW (Sec. 1.3(D) Design Standards).
12. The Applicant should provide plans for ongoing maintenance of landscaping, including mowing and weed management on landscaped berms (Sec. 2.1 Design Standards). This can be a short statement on the landscape plan describing maintenance procedures should a plant be damaged or die.
13. Landscaping and buffer standards:
  - a. North: 9 LUI (Industrial) – 7 LUI (Commercial) = 2 LUI Difference, minus 4 credits for Arterial Road (CTH F) = 0 LUI Difference.  
Required buffer width: 20 ft, with 2 shade trees, 6 evergreens, and 20 shrubs.  
Proposed landscaping meets (exceeds) the standard.
  - b. South/East/West: 9 LUI (Industrial) – 9 LUI (Industrial) = 0 LUI Difference on all sides.  
Required buffer width: 20 ft, with 2 shade trees, 6 evergreens, and 20 shrubs.  
Proposed landscaping meets (exceeds) the standard.
  - c. The proposed plantings and streetscape will improve roadway visual quality within this Special Use District. If the applicant wishes, some plantings could be redistributed from the southern yard to the north and east yards, to beef up landscaping adjacent to public streets, while still meeting the requirements above.
14. Applicant should confirm internal sidewalk widths are a minimum of 5 feet, exclusive of building foundation landscaping areas (Sec. 3(F) Design Standards). The sidewalk should extend at least along the length of building walls where parking abuts the building to the north and east. Even better would be to extend the northern sidewalk to the first tree island, and leave room there for a walking route next to the island to create a better walkway for pedestrians coming from across the parking lot. A sidewalk segment should connect the main entrance to the driveway on the east side, next to the northernmost parking stall. The Town Plan Commission may, at its discretion require a 6 feet wide pedestrian way (or reservation for future walkway) along the frontage of development where said development abuts on a State Trunk Highway or County Trunk Highway. Said walkway shall be hard-surfaced per the Town of Lisbon Paving Specifications. Where building sidewalks are flush with the asphalt bump stop shall be noted to protect pedestrians.

15. The Plan Commission shall determine if the prohibition of commercial parking in the street yard lot would apply in this situation (Sec. 3.G). Typically, the standard would apply in a commercial retail setting in the B-4 district, but not a Business Park district. For an industrial site like this, it is appropriate to allow parking in a front yard because (a) it is a corner lot with two street frontages, (b) they propose generous landscaping and berming around the site, and (c) the rear and south yards are required for loading docks, large trucks maneuvering, and tank storage, which are even less desirable for yards that are visible to the public.
16. Building facades do contain some architectural interest with the windows, corner entrance, parapet, and use of colored blocks/panels. However, it is still a bit monolithic due to lack of building articulation (not uncommon for industrial buildings) and the way that accent shapes/colors are used on the north wall seems a bit arbitrary (Sec. 4.1 (B) Design Standards). If building walls cannot be bumped out or recessed for articulation, the look might be improved with a more emphasized entrance canopy, and modified color accents – for example, vertical dark grey lines might be focused in the vicinity of the offices and entryway to reflect the building's function (this is done to nice effect on the south wall), and the upper horizontal band might extend the length of the wall to provide a more unified look around the building. The view from the northwest looking southeast (visible from Main Street) contains a large blank area.
17. Proposed building materials, colors, and signage all appear to be of high quality and complementary to one another and to the area. Signage details will be subject to standards in Sec. 5 of Design Standards and Sec. 3(m) of the Zoning Code.
18. Bicycle parking for at least four to eight bicycles should be provided in the vicinity of the main entrance, for use by employees (Sec. 6(A)6 Design Standards).
19. Town Engineer shall review the site plan any driveway apron material requirements in conjunction with the planned town road.
20. Town Engineer shall review the site plan for driveway curbing around the rear and adjacent to the driveway.

**Recommendation**

If the Plan Commission would require additional materials they have the ability to table the SPPOO request. If the Plan Commission is generally comfortable with the SPPOO request, they may conditionally approve it. Recommended conditions may include:

1. The Applicant shall comply with all site plans and operational aspects included in the previously approved submitted materials. The Site Plan shall be on file at the Town of Lisbon.
2. The Town of Lisbon retains the right to annually review the business operation for compliance with approved plans.
3. Review and approval of a CSM that is in substantial conformity with the boundaries describe herein. Should the CSM contain boundary lines that are not in substantial conformity, as determined by the Town Planner, a revised SPPOO shall be submitted to the Town for review and approval. Minor edits to the site plan resulting from the CSM may be approved administratively by Town staff.
4. The Fire Chief shall inspect the premises to ensure the site is in compliance with the respective fire codes. Non-objection from the Fire Department and correction of any deficiencies prior to issuance of occupancy permits.
5. The Building Inspector shall inspect the premises to ensure the site is in compliance with the respective building codes. Non-objection from the Building Inspector and correction of any deficiencies prior to issuance of occupancy permits.
6. The Town Engineer review the site plans to ensure the site is in compliance with the respective Town codes. Non-objection from the Town Engineer and correction of any deficiencies prior to issuance of SPPOO approval.
7. There shall be no outdoor storage of materials unless otherwise noted on approved site plans.
8. There shall be no trash or recycling stored outside of the building, except within a fully screened on-site dumpster/waste container, which must be shown on the final Site Plan.
9. Address parking stall counts with the Town Board/BOA.
10. Show the location of the proposed storage shed on the site plan, if applicable.
11. All accessory buildings must be constructed such that the exterior appearance is compatible with the design, style, architecture, and appearance of the principal structure, as determined by the Town Building Inspector (Sec. 3(i)5.P).
12. Modify offset lines and labels on plan sheets to indicate a minimum 10-foot pavement offset.
13. Show snow storage areas on-site and landscaping plans.
14. Provide plans for ongoing maintenance of landscaping, including mowing and weed management on landscaped berms.
15. The final site plan shall include sidewalks of a minimum 5 feet wide and run the length of the building adjacent to the parking areas and where sidewalk is flush to the asphalt, bump stops be included to protect pedestrians.
16. Add secure parking for at least four to eight bicycles near the main building entrance.
17. Soil tests shall be done, and provided to the Town, to confirm the soils are buildable.

18. The Waukesha County Environmental Health Division may review and approve of the uses on the subject property, prior to the issuance of any permits.
19. Any business signage shall be required to obtain signage approval through the Town of Lisbon sign application process.
20. An up-to-date Site Plan and Plan of Operation must be on file at all times with the Town of Lisbon.
21. The approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Site Plan/Plan of Operation permit with all the zoning procedures at the time of being followed. Any use not specifically listed as permitted shall be considered to be prohibited, except as may be otherwise specified herein.
22. The Town reserves the right to review any condition imposed as part of this Site Plan and Plan of Operation if said use becomes a problem in the area. The Town Plan Commission may modify, change, delete, add, etc. any conditions, through the Site Plan and Plan of Operation process, which they feel may be reasonable in order to allow this use and ensure it does not become detrimental to the surrounding area. Any major change, as determined by the Town Plan Commission may require modification to the SPPOO Permits or termination of the use.
23. County approval of the final Stormwater Management Agreement.

The issues outlined above are meant to act as a guideline to assist you in discussions as to what issues you feel need to be addressed in order for you to review this proposal. We will be in attendance at the December Plan Commission meeting to answer any questions.

Sincerely,

Dan Lindstrom, AICP  
Town Planner

Rachel Holloway, AICP  
Community Development Planner

Enclosure: Exhibit F Map Additional Design Standards Area (Lieds – Western Portion)

cc: Gina Gresch, Town Administrator, Town of Lisbon

# Exhibit F

## Additional Design Standards Area Outside of JPC Jurisdiction (Lieds - western portion)

